

Planning Committee

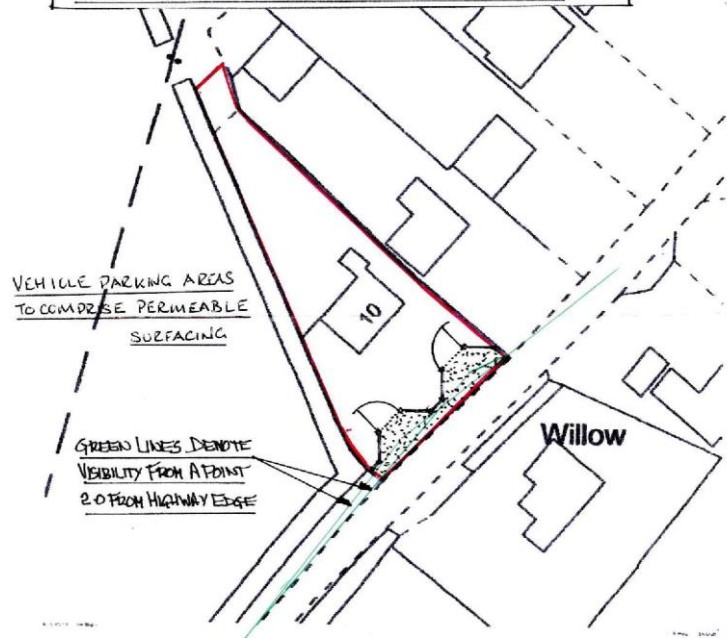
3 July 2023



23/00265/CU



ACCESS GATES TO NOT EXCEED 1.0M HEIGHT
 PROPOSED NEW FENCING TO BE - MAX. 1.0M HIGH THROUGH HOSTS;
 FENCE TO BE LOCATED MIN. 2.0M FROM HIGHWAY EDGE; GATES TO OPEN
 INTO THE APPLICATION SITE, LOCATED MIN. 5.0M FROM HIGHWAY EDGE
 PROVIDE 45° VISIBILITY SPLAYS AS SHOWN; ACCESS DRIVES TO BE
 HARD SURFACED - E.G. CONC. OR TARMAC FOR THE FIRST 5.0M FROM THE
 HIGHWAY EDGE, TO SLOPE INTO THE APPLICATION SITE TO ENSURE
 THAT SURFACE WATER DOES NOT DRAIN ONTO THE HIGHWAY



VEHICLE PARKING AREAS
 TO COMPRISE PERMEABLE
 SURFACING

GREEN LINES DENOTE
 VISIBILITY FROM A POINT
 2.0 FROM HIGHWAY EDGE

Produced 07 Feb 2023 to the Ordnance Survey MasterMap
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 object. The material is not to be used for any other
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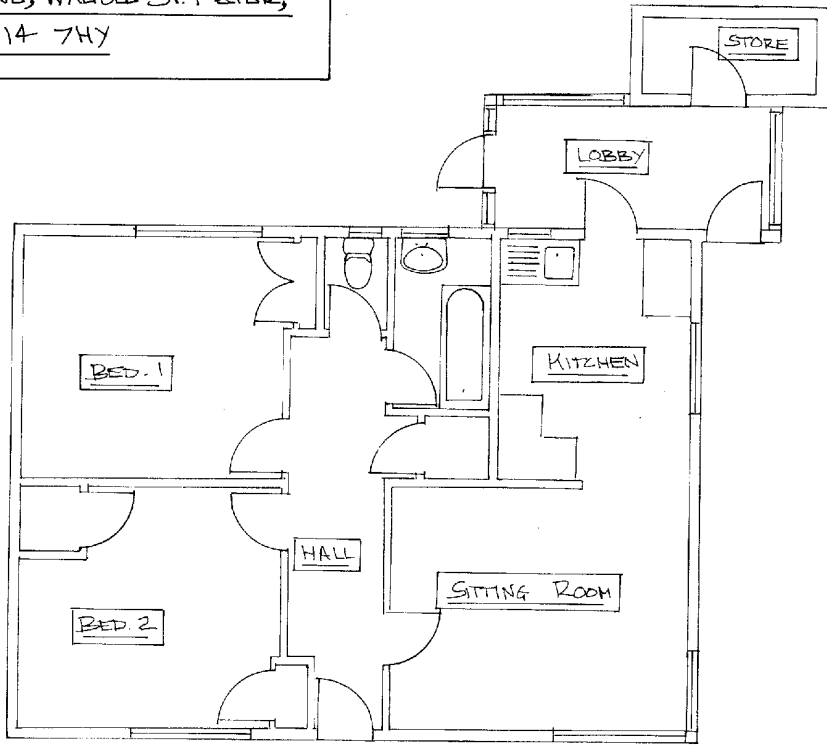


10, Felgate Ln, Watlington St Peter
 PE14 7HF

Designed by **Stamford** 01 Feb 2023
 Layout by **Stamford** 01 Feb 2023
 Job No. 23/00265/CU
 Project No. 23/00265/CU
 Client: **Stamford** 01 Feb 2023



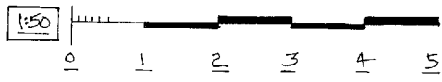
10, FOLGATE LANE, WALPOLE ST. PETER,
NORFOLK, PE 14 7HY



DEVELOPMENT SERVICE
RECEIVED
2 FEB 2023

RECEIVED
21 FEB 2023
A. ENGLISH
REG. PLANNING

FLOOR PLAN 1:50





Application site – prefabricated dwelling





Access gates to be removed /relocated and lowered.





Rear garden





Rear elevation and neighbour to east beyond fence



23/00265/CU

Slide
No. 11



Update - Rear garden



Update – front elevation

23/00265/CU

Slide
No. 13



Update – side elevation

23/00265/CU

Slide
No. 14



Update – front elevation

23/00265/CU

Slide
No. 15

Update – front boundary



23/00265/CU

Slide
No. 16



Update – principal elevation

23/00265/CU

Slide
No. 17



Update – close up

23/00265/CU

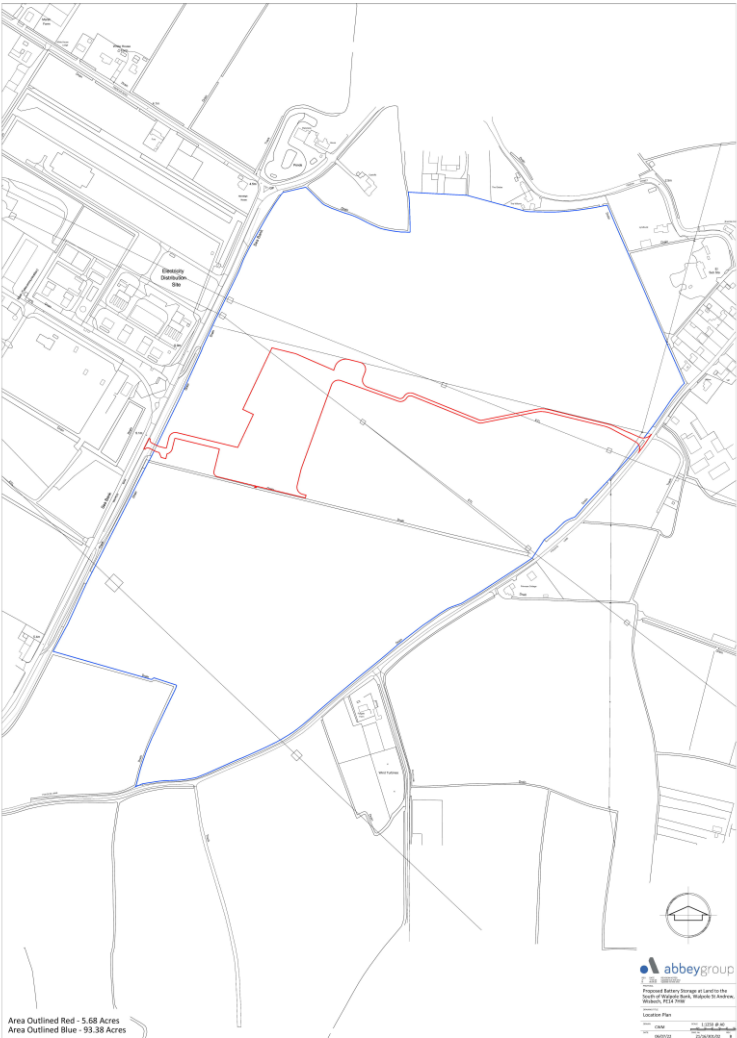
Slide
No. 18

Update – rear elevation



22/02265/FM





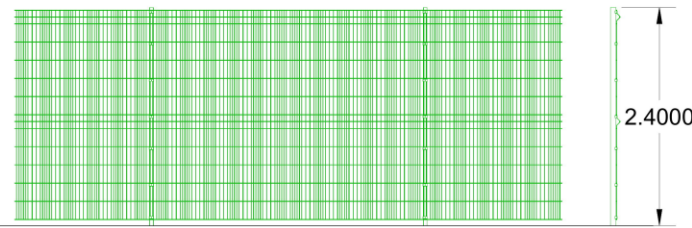


Dennis Sabre Fire Tender (LWB)

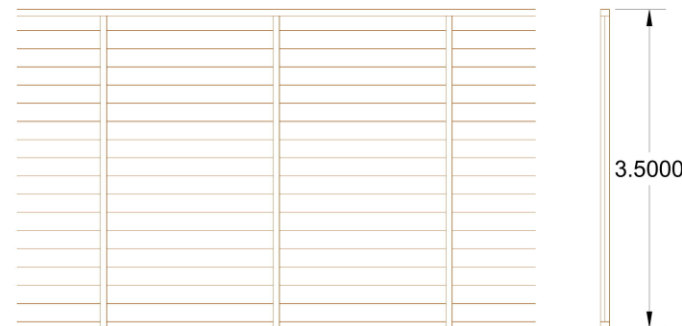
Overall Length	7.700m
Overall Width	2.430m
Overall Body Height	3.832m
Min Body Ground Clearance	0.587m
Track Width	2.580m
Clearance to Kerb to Kerb Turning Radius	7.400m

VEHICLE BODY SWEEP PATH (FORWARD GEAR)
 VEHICLE CHASSIS SWEEP PATH

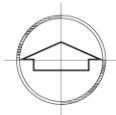




2.4m Green stripe mesh paladin style fence elevations



3.5m Timber panel acoustic fence elevations

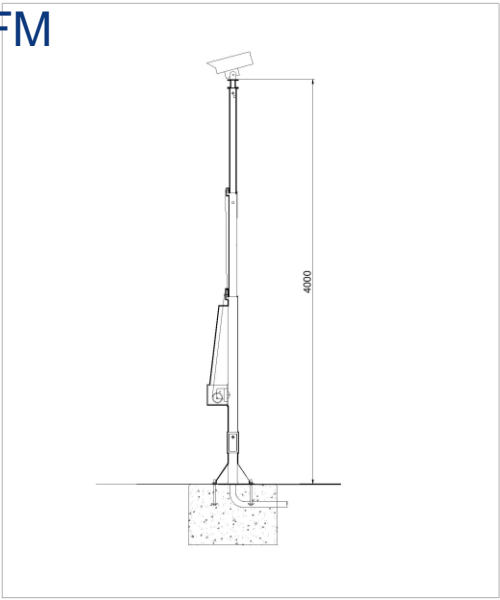


PROPOSED
Proposed Battery Storage at Land to the
South of Walpole Bank, Walpole St Andrew,
Wisbech, PE14 7HW

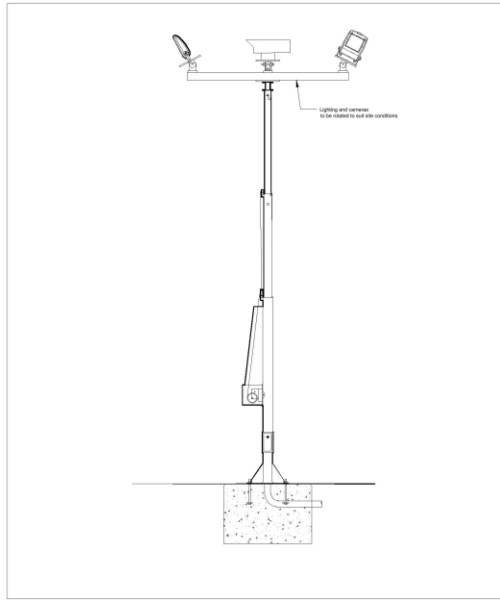
DRAWING TITLE
Fence Plan

DESIGNER	CWM	SCALE	1:20 @ A2
DATE	15/08/22	PROJECT NO.	21/16/301/03

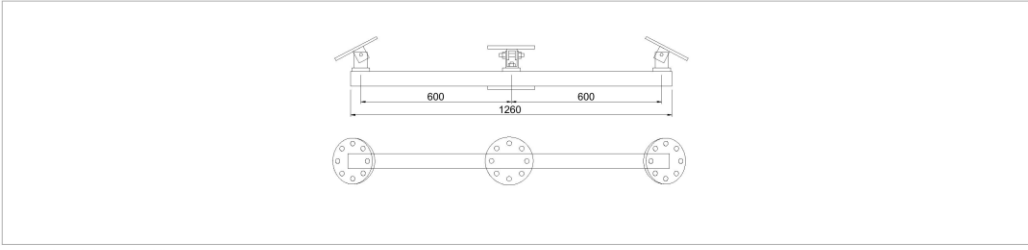




1 Telescopic column



2 Telescopic column with camera and lights



3 Triple fixed mounting bracket

Notes:

- Foundation:
- All work is to be carried out in accordance with the relevant British Standards, Codes of Practice and Building Practice.
 - All dimensions are to be checked prior to starting the works on site. Any discrepancies are to be reported to the engineer immediately.
 - Contractor is to ascertain the location of services on site prior to starting the work.
 - Concrete to be well vibrated to ensure a solid mass free from voids.
 - Minimum concrete cover to reinforcement is to be 50mm unless noted otherwise.
 - Reinforcement to foundations to comprise standard steel mesh fabric in accordance with BS6666, BS4449 and BS4483, unless noted otherwise.
 - Minimum laps in mesh reinforcement are to be 400mm for A393 square mesh fabric.
 - All exposed cut ends of reinforcement are to be covered with HI-VIZ plastic mushrooms and not removed until just prior to pouring the concrete.

Telescopic Column to be ACC/TELE4 from ALTRON catalogue or similar.
Telescopic column suitable for restricted site access locations.

Triple fixed mounting bracket to be TB3- 600F from ALTRON catalogues or similar.
All brackets for camera mounting have a 1270 mounting plate with 8 no Ø8.5 equally spaced on 101.6 PCD.

Two Mira Floodlight 100W LED Graphite (AMLED100) from ANSELLUK catalogue or similar to be fixed on triple fixed mounting bracket together with the camera.

1:10	1:20	1:30	1:40	1:50	2:30	3:00	4:00	5:00	6:00	8:00	10:00	15:00	20:00	30:00
mm	mm	mm	mm	mm	mm	mm	mm	mm	mm	mm	mm	mm	mm	mm
100	200	300	400	500	750	900	1200	1500	1800	2400	3000	4500	6000	9000
100	200	300	400	500	750	900	1200	1500	1800	2400	3000	4500	6000	9000

Date	By	Description	Rev	App
11.08.2021	Original		SH	SF

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Telephone: 01534 482 482 Facsimile: 01534 241 312
Web: www.g2energy.co.uk e-mail: enquiries@g2energy.co.uk

Project Issue Date: March 2021

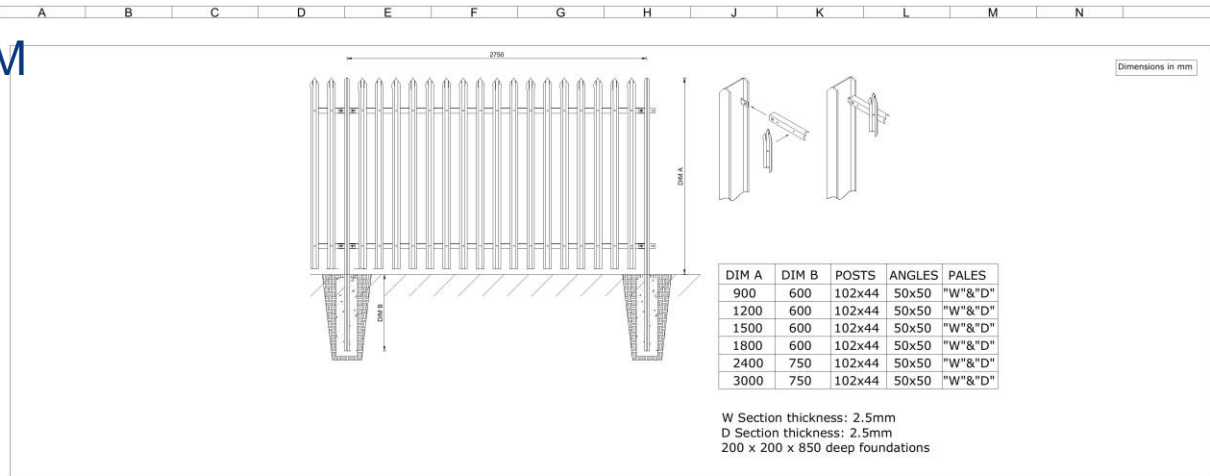
Drawn By: SH Checked By: SF Approved By: KR

Drawing Number: P3090(08)-175-01 Rev: O

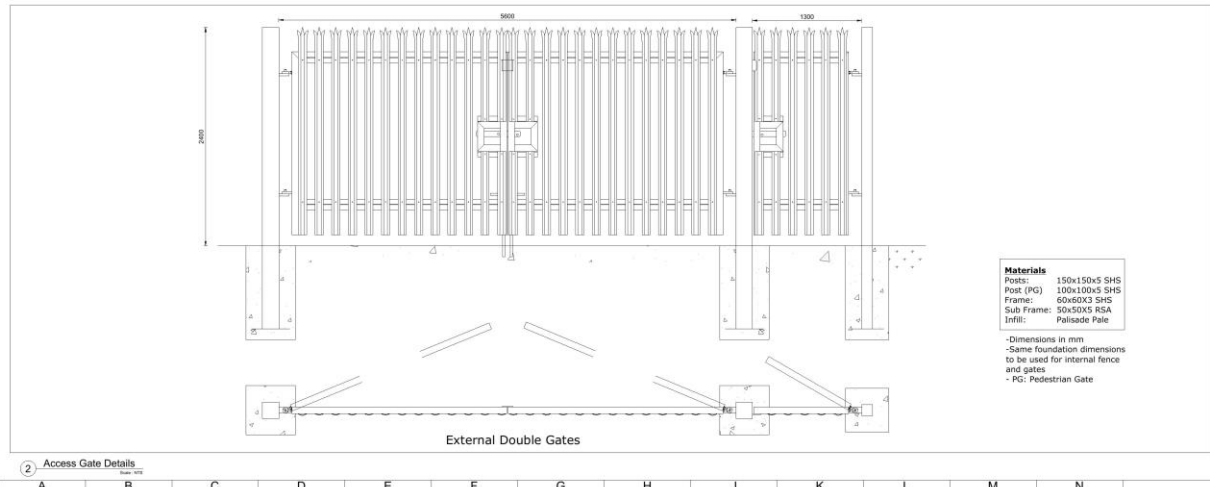
Drawing Name: CCTV & Lighting Column Details

Sheet Print Stamp: Scale As Shown @ Paper Size: A1

FOR PLANNING



1 Palisade Fence Details



2 Access Gate Details

Notes

Metallic fences even if painted or powder coated must be considered as bare metal unless covered in an approved insulated coating that will not degrade over time. Manufacturer's design to be as per BS 1722, BS EN 1794-1:2003

Q	Rev	Date	Revision Description	Rev	SF	Rev	Appr
Q	1	18.02.2021	Original				

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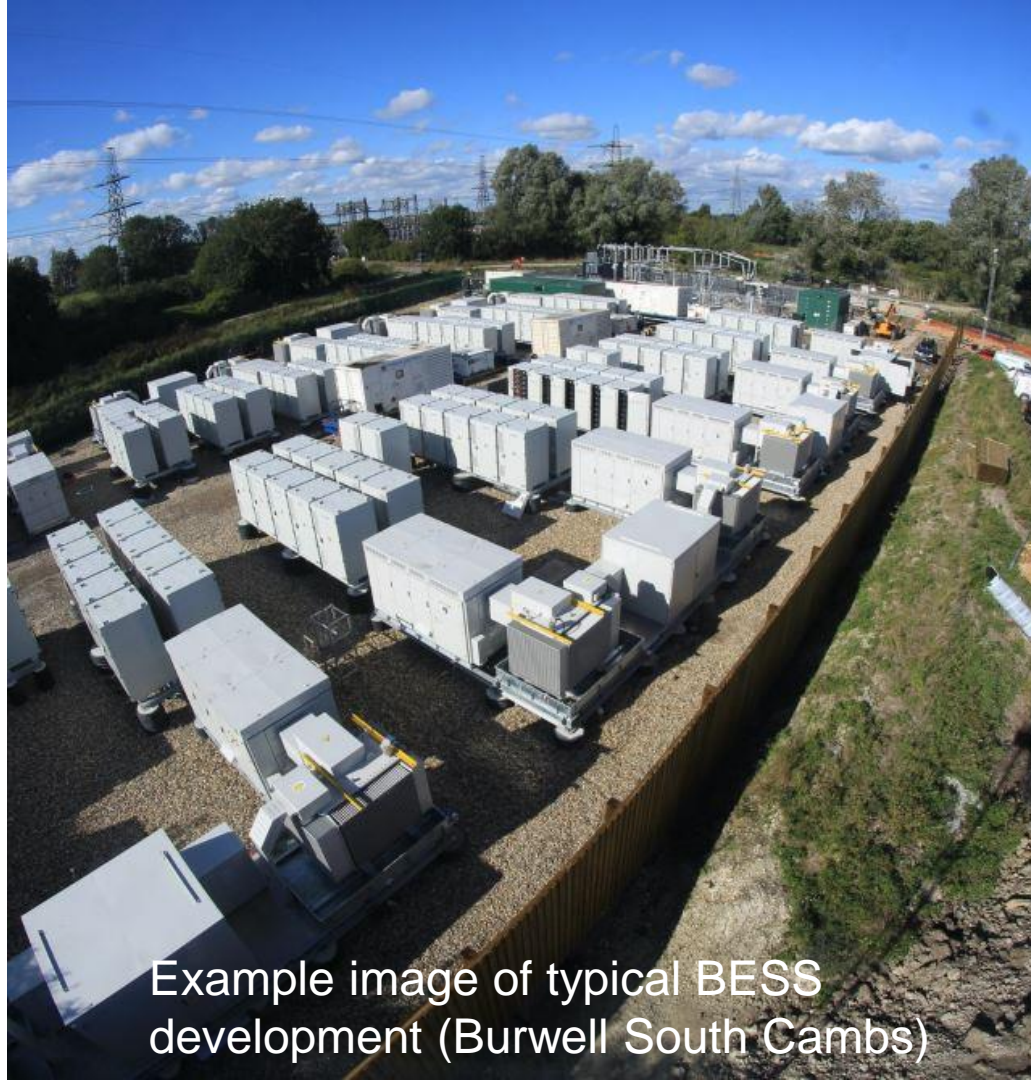


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Project Issue Date:	March 2021
Drawn By:	SH Checked By: SF Approved By: KR
Drawing Number:	P3090(07)-175-01
Drawing Name:	Fencing & Access Gate Plan & Elevations

Sheet Print Stamp:
Scale As Shown @ Paper Size: A1
Drawing Status:

FOR PLANNING



Example image of typical BESS
development (Burwell South Cambs)

22/02265/FM

Slide
No. 27



View westwards from proposed emergency access point on
Folgate Lane



22/02265/FM

Slide
No. 28



View westwards close to Over Head Power line approx.
halfway along Folgate Lane





View SW from Folgate Lane



22/02265/FM

Slide
No. 30



View W from Folgate Lane





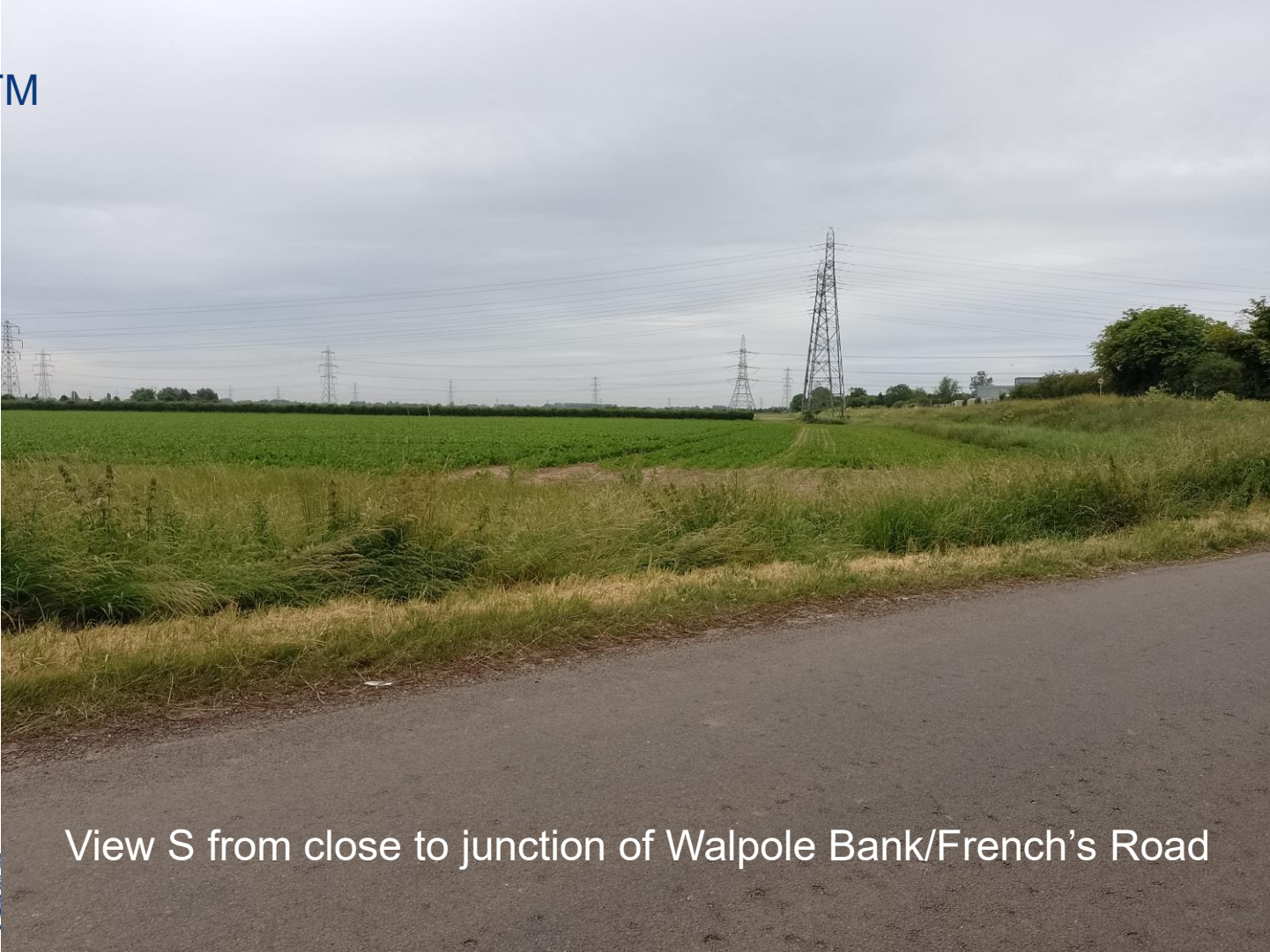
View N from southern end of Folgate Lane





View northwards on Walpole Bank – site to right of road



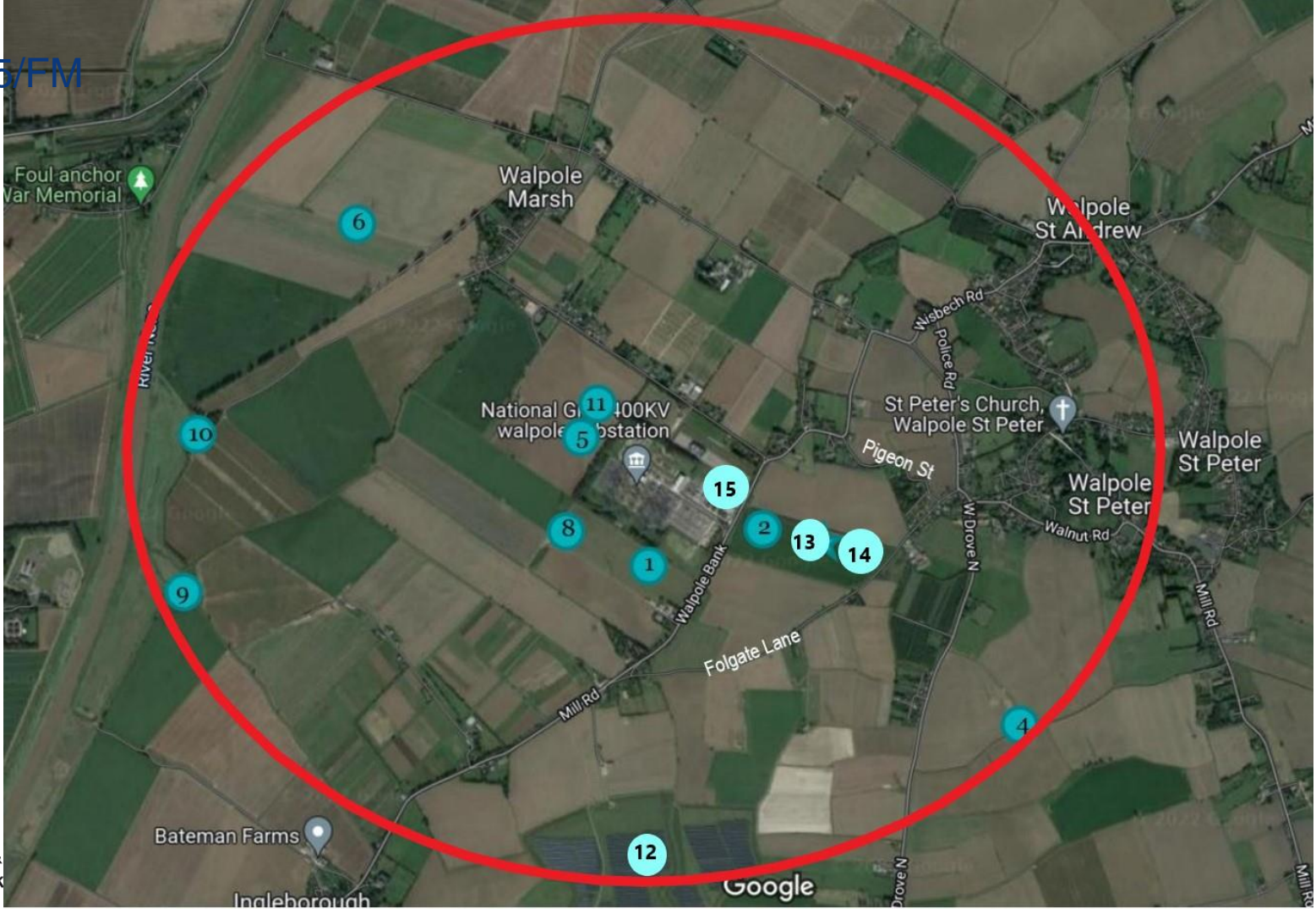


View S from close to junction of Walpole Bank/French's Road



Speaker James Whitaker





22/02265/FM

BESS - (Battery Energy Storage System) - (Lithium Iron).

Map	Ref	Type	Description	Area	MW	Ha	Acre	Date	Status	L / G	Km Centre	Km 1st resi	Own / Occ / Ten
13	22/02265/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land opposite Walpole Substation; to the east of Walpole Bank, Walpole St Andrew	100	1.82	4.39	17/06/2023	Pending	1	1.11	0.3	Crown Farm / Model Farm /
14	22/02021/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land opposite Walpole Substation and to the east of Walpole Bank, Walpole St Andrew	100	0.99	2.39	17/06/2023	Pending	1	0.95	0.27	Crown Farm
2	22/00438/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land opposite Walpole Substation and to the east of Walpole Bank, Walpole St Andrew	100	1.44	3.47	10/09/2022	Permitted	1	1.26	0.27	Crown Farm / Model Farm /
4	21/01803/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land SE Down Track From Westmoor West Drive North Walpole St Peter Wisbech Norfolk PE14 7HU	100	4.3	10.36	10/06/2023	Permitted	2	1.14	0.41	County Hall
5	21/01715/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Model Farm Frenchs Road Walpole St Andrew Wisbech Norfolk PE14 7JF	100	2.7	6.51	17/01/2022	Permitted	2	1.87	0.37	Crown Farm / Model Farm / Hill Farm
9	19/01002/FM	Battery Storage	Proposed development of a battery storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid	Crown Farm Mill Road West Walton Wisbech Norfolk PE14 7EU	50	1.98	4.77	05/03/2020	Permitted	3a	3.4	0.9	Crown Farm / Hill Farm
10	19/01004/FM	Battery Storage	Proposed development of a battery storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid	Flower Farm The Marsh Walpole St Andrew Wisbech Norfolk PE14 7JG	50	1.46	3.52	19/03/2020	Permitted	1	3.4	0.85	H.Prins
11	19/01003/F	Battery Storage	Proposed development of a battery storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid	Model Farm Frenchs Road Walpole St Andrew Wisbech Norfolk PE14 7JF	50	0.65	1.57	06/03/2020	Permitted	2	0.18	0.13	Crown Farm / Model Farm / Hill Farm
			Totals		800	15.3	36.97						

MW unclear from applications

Some high but again from other reports

Dist (Km) site to WSP Church (Walpole Centre)

Dist (Km) site to 1st resi

Other electrical - grid facilities (inc some Battery storage).

Map	Ref	Type	Description	Area	MW	Ha	Acre	Date	Status	Land grade	Km Centre	Km 1st resi	Own / Occ
6	21/01442/FM	Battery / Solar	Installation of a solar farm and battery storage facility with associated infrastructure	Land At East Marsh S of Gunthorpe Road W of Flowers Farm And Frenchs Road The Marsh Walpole St Andrew Norfolk	50	78.4	188.94	25/02/2022	Refused / appeal pending	1	3.1	0.41	Cliftonville / Rose Hall Farm / Wingland Grange / Newington House London / Norfolk CC / Lincoln CC
8	20/01508/FM	Battery / Solar	Installation of renewable led energy generating station comprising ground-mounted photovoltaic solar arrays and battery-based electricity storage containers together with substation, inverter/transformer stations, site accesses, internal access tracks, security measures, access gates, other ancillary infrastructure, landscaping and biodiversity enhancements	Land West And South of Walpole Substation Walpole Bank/Walpole Marsh Walpole St Andrew Norfolk	40	56	134.96	15/01/2021	Permitted	1B.2	1.9	0.54	Rose Hall Farm / National Grid
12	14/00283/FM	Solar	Erection of 30MW solar photovoltaic facility with associated landscaping and construction of temporary access	Rose And Crown Solar PV Ltd Solar Farm On the Salts Walpole Bank Walpole St Andrew Norfolk	30	67.3	162.24	12/06/2014	Permitted / Built	High grade	2	0.37	FW Deptford
15	14/01059/FM	Sub Station	Alternative sub-station design to serve the Race Bank offshore windfarm.	Land East of Walpole Marsh Substation Walpole Bank Walpole St Andrew Norfolk	N/A	5.97	14.39	26/09/2014	Permitted / Built	Existing	1.3	0.12	Centrica
1	22/01616/FM	Sub Station	Installation of a Synchronous Condenser facility with associated infrastructure access and landscaping.	Land At Rose Hall Farm Walpole Bank Walpole St Andrew Wisbech Norfolk PE14 7JD	NA	3.52	8.48	31/01/2023	Permitted	Agri	1.6	0.1	Cliftonville / Rose Hall Farm / Norfolk CC
			Totals		120	211	509.02						
			Totals - all		920	227	546						

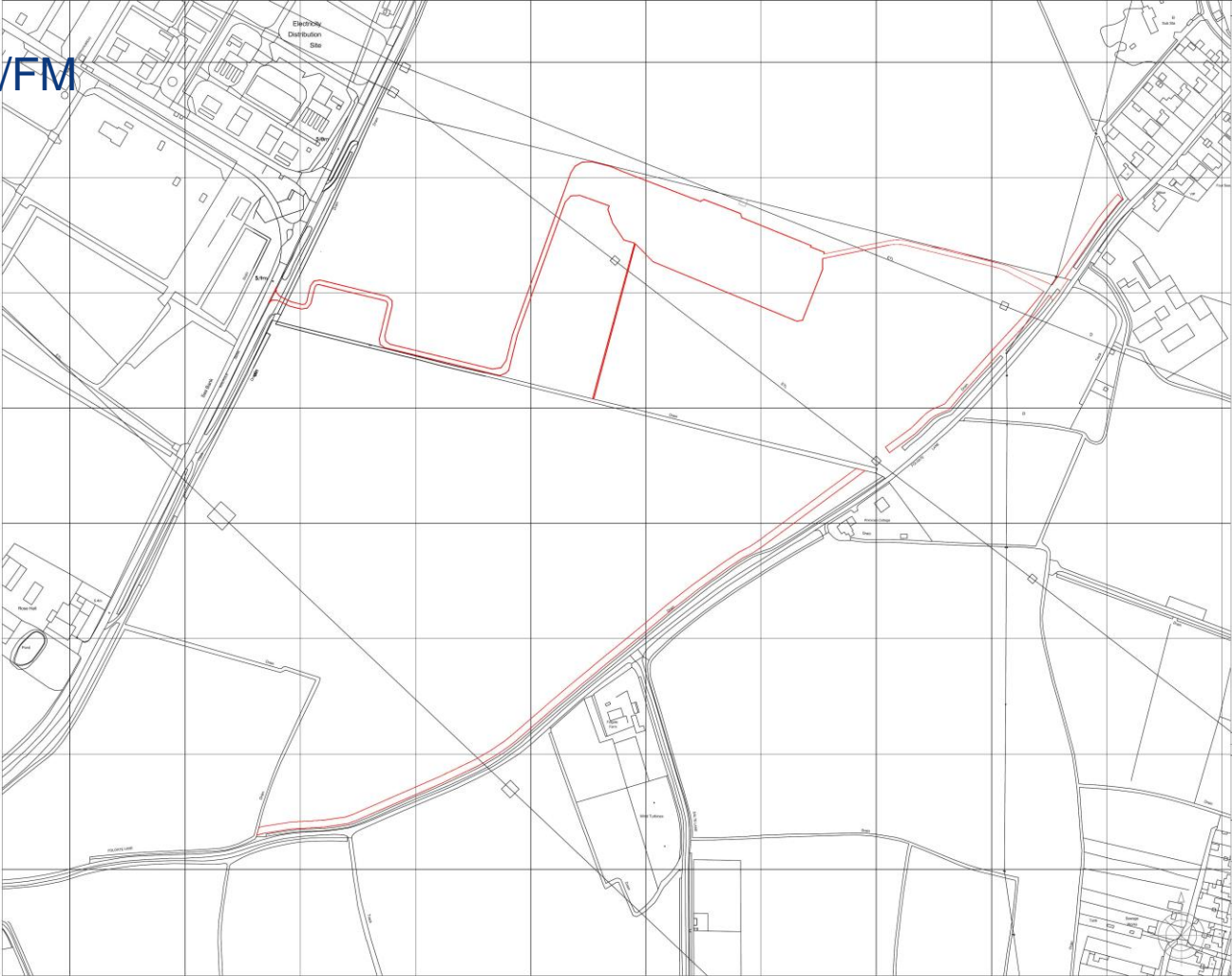
22/02265/FM

Top 12 largest BESS systems in the world at 2022 (google).				
Rank	Battery	MW	Year	Ctry
#1	The Dalian Flow Battery Energy Storage Peak-Shaving Power Station	400	2022	China
#2	The Moss Landing Energy Storage Facility	400	2020	USA
#3	Pacific Gas & Electric (PG&E) Battery Energy Storage (BESS) Project	183	2021	USA
#4	The Victorian Big Battery	300	2021	Australia
#5	The Hornsdale Power Reserve	150	2017	Australia
#6	The Stocking Pelham Battery	50	2018	UK
#7	The Buzen Substation BESS	50	2016	Japan
#8	The EnspireME Battery	48	2018	Germany
#9	Notrees Energy Storage System	36	2017	USA
#10	The Golden Valley Electric Battery	27	2003	USA
#11	The Newmarket Battery Energy Storage System	4	2019	Canada
#12	The Graciosa Energy Storage System	2.8	2025	Portugal

Additional info as of 2023.				
#13	Walpole - BESS within a 2km radius of Walpole Sub station (ex bess inc in Solar	800	N/A	UK
#14	Pillswood East Yorkshire (was largest in Europe)	196	2022	UK
#15	Minty Wiltshire (was largest in Europe)	150	2021	UK

22/02021/FM





DRAWING NOTES

DRAWING NOTES
 1. ALL DIMENSIONS ARE SHOWN IN MM.
 2. SCALE FOR PLANNING PURPOSES ONLY.

SERVICES

— Planning Boundary

Scale 1: 1000
 0 20 40 60 80 100
 metres

1	22/02021	CONSTRUCTION DRAWING	PL	PL
REV	DATE	DESCRIPTION	BY	CHK

Field, Second/Third, 68 Parkway
 Street, Spaldwell, London, E11 5AA.

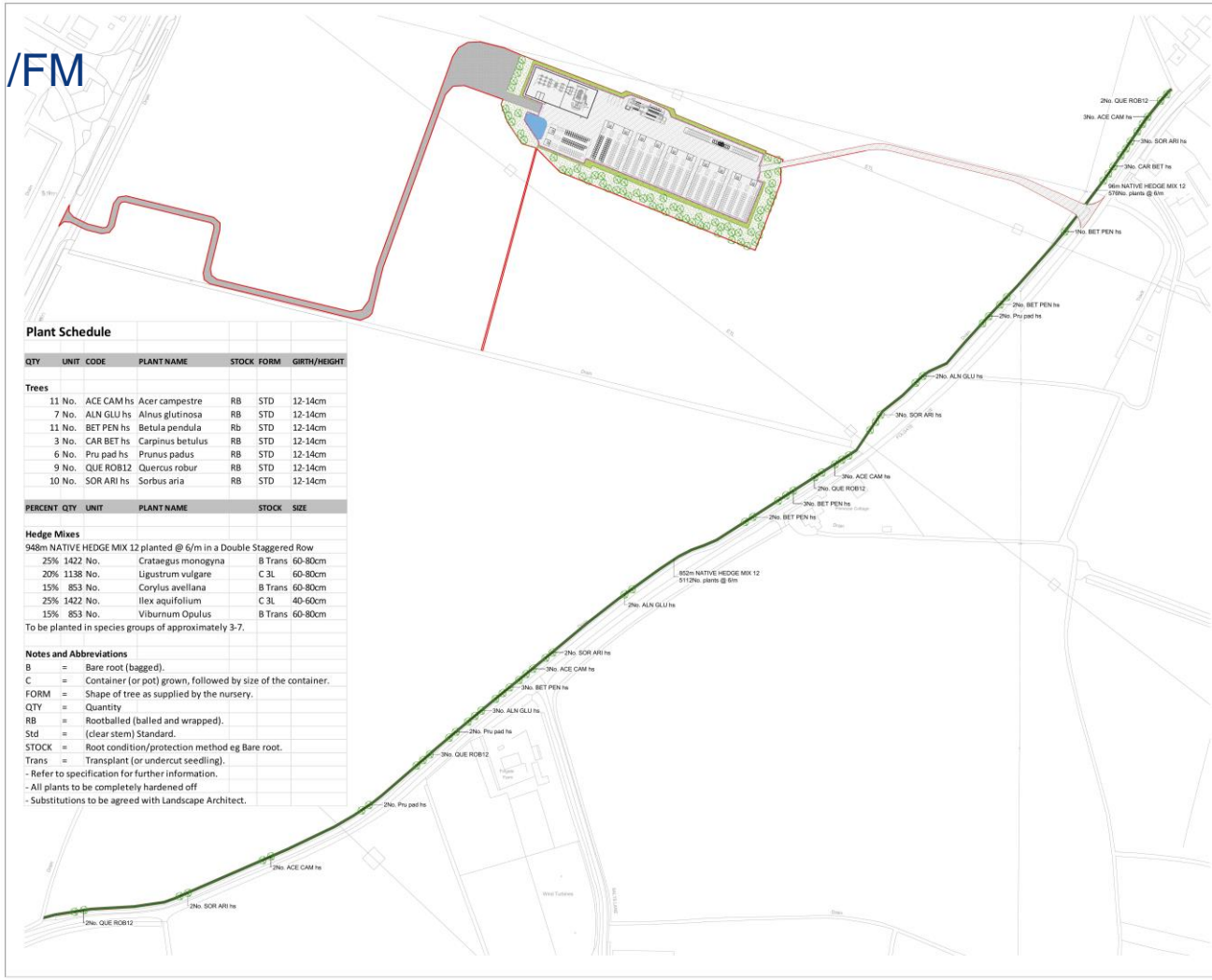
PROJECT: KINGS LYNN

TYPE: LOCATION PLAN

DISCIPLINE: PLANNING

FOR PLANNING

DATE	FILE	PROJECT	DISCIPLINE	VERSION
11/08/2021	22/02021	PL	PL	002.1.2
PROJECT	DATE	SCALE	BY	CHK
BTGBKLY01	002.1.2	0		



Plant Schedule

QTY	UNIT	CODE	PLANT NAME	STOCK	FORM	GIRTH/HEIGHT
Trees						
11	No.	ACE CAM hs	Acer campestre	RB	STD	12-14cm
7	No.	ALN GLU hs	Alnus glutinosa	RB	STD	12-14cm
11	No.	BET PEN hs	Betula pendula	Rb	STD	12-14cm
3	No.	CAR BET hs	Carpinus betulus	RB	STD	12-14cm
6	No.	Pru pad hs	Prunus padus	RB	STD	12-14cm
9	No.	QUE ROB12	Quercus robur	RB	STD	12-14cm
10	No.	SOR ARI hs	Sorbus aria	RB	STD	12-14cm

PERCENT	QTY	UNIT	PLANT NAME	STOCK	SIZE
Hedge Mixes					
948m NATIVE HEDGE MIX 12 planted @ 6/m in a Double Staggered Row					
25%	1422	No.	Crataegus monogyna	B	Trans 60-80cm
20%	1138	No.	Ligustrum vulgare	C	3L 60-80cm
15%	853	No.	Corylus avellana	B	Trans 60-80cm
25%	1422	No.	Ilex aquifolium	C	3L 40-60cm
15%	853	No.	Viburnum Opulus	B	Trans 60-80cm

To be planted in species groups of approximately 3-7.

Notes and Abbreviations

- B = Bare root (bagged).
- C = Container (or pot) grown, followed by size of the container.
- FORM = Shape of tree as supplied by the nursery.
- QTY = Quantity
- RB = Rootballed (balled and wrapped).
- Std = (clear stem) Standard.
- STOCK = Root condition/protection method eg Bare root.
- Trans = Transplant (or undercut seedling).
- Refer to specification for further information.
- All plants to be completely hardened off
- Substitutions to be agreed with Landscape Architect.

Before the drawing is used on any other project, the user must refer to the original drawing and any amendments. The user must refer to the original drawing and any amendments. The user must refer to the original drawing and any amendments.

Notes:-
For compound landscape planting specification please refer to drawing: UG_1744_LAN_GA_DRIV_01

KEY

Application Site Red Line Boundary

Hard Landscape

- Type 1 Aggregate
- Proposed Impermeable Surface
- 2.4m High Security Fence
- 3.0m High Acoustic Fence
- Attenuation Pond
- Indicative Area for Emergency Vehicle Access Route

Soft Landscape

- Native Tree
- Mature Tree & Shrub Mix
- Midway Measure
- Proposed Native Hedge Planting

PSD	210623	Amends to site boundary	ME	SA
PSD	260323	Amends to comments	ME	SA
PSD	280323	Final issue	TH	SA
REV	DATE	DESCRIPTION	ISSUED	CHKD



A: Ground Floor, The Tower,
Deans City Office Park, Trinity Way,
Manchester M3 7DF
T: +44 (0) 161 312 3131
wareurbangreen.co.uk

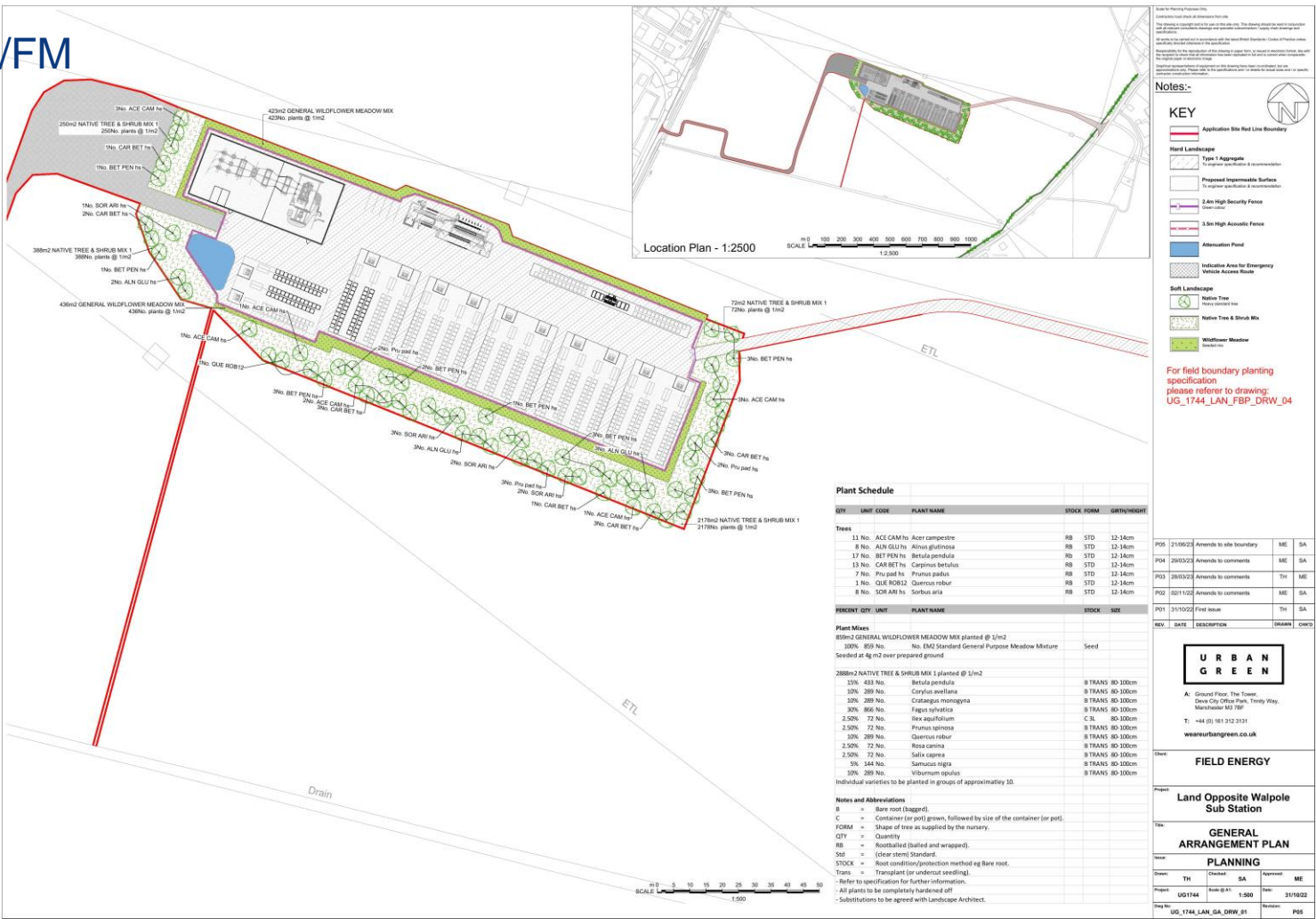
Client: **FIELD ENERGY**

Project: **Land Opposite Walpole Sub Station**

Title: **FIELD BOUNDARY PROPOSAL**

Discipline: **PLANNING**

Drawn	TH	Checked	SA	Approved	ME
Project	UG1744	Scale @ A0	1:800	Date	28/03/23
Sheet No.	UG_1744_LAN_FBP_DRIV_04	Revisions		Page	003



For field boundary planting specification please refer to drawing: UG_1744_LAN_FBP_DRW_04



A: Ground Floor, The Tower
One City Office Park, Ferry Way,
Marshall MI 79F
T: +44 (0) 161 312 3131
www.urbangreen.co.uk

FIELD ENERGY

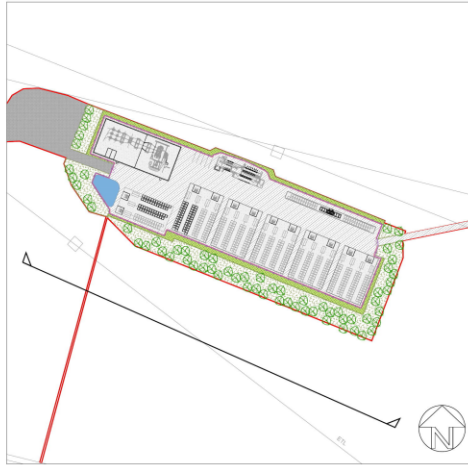
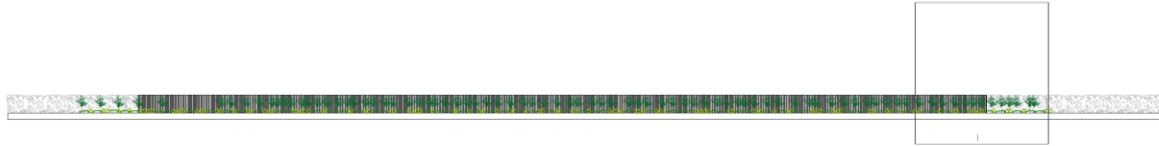
Land Opposite Walpole Sub Station

GENERAL ARRANGEMENT PLAN

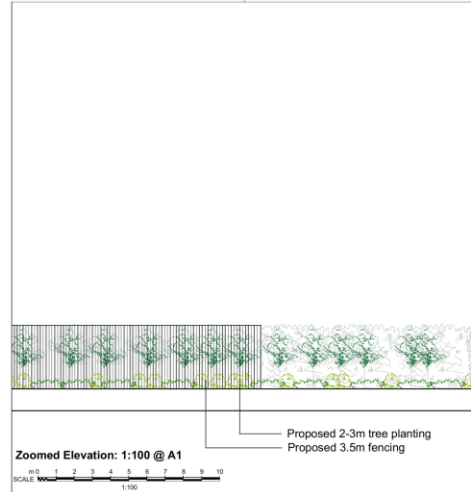
PLANNING

Drawn	TH	Checked	SA	Approved	ME
Project	UG1744	Scale	@ A1 1:500	Date	31/10/22
Drawn by	UG_1744_LAN_SA_DRW_01	Revision			PG5

Southern Elevation 01: Demonstrating proposed day one planting height
1:350 @ A1



Section Location Plan: 1:1000 @ A1



Zoomed Elevation: 1:100 @ A1

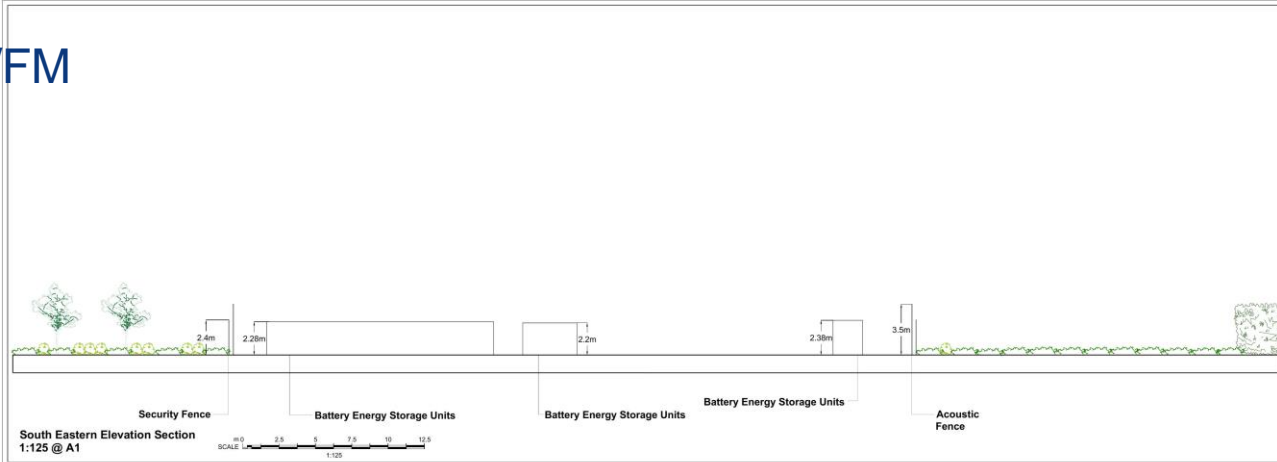
Notes:-

PO4	21/05/22	Amends to site boundary	ME	SA
PO3	20/03/22	Amends to comments	ME	SA
PO2	02/11/22	Amends to comments	ME	SA
PO1	31/10/22	Final issue	TH	SA
REV	DATE	DESCRIPTION	URBAN	CHWG



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weurbanngreen.co.uk

Client: FIELD ENERGY					
Project: Land Opposite Walpole Sub Station					
Title: SOUTHERN ELEVATION 01					
Discipline: PLANNING					
Checked:	TH	Checked:	SA	Approved:	ME
Project:	UG1744	Scale @ A1:	Site Labels	Date:	31/10/22
Drawn by:	UD_1744_LAN_SEC_DRW_02	Revision:			PO4



Notes:-

1. Refer to existing site plan for details of the proposed development.

2. The proposed development is shown in green on the site plan. The boundary between the proposed development and the existing site is shown in red.

3. The proposed development is shown in green on the site plan. The boundary between the proposed development and the existing site is shown in red.

4. The proposed development is shown in green on the site plan. The boundary between the proposed development and the existing site is shown in red.

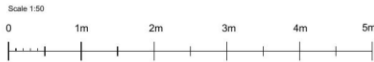
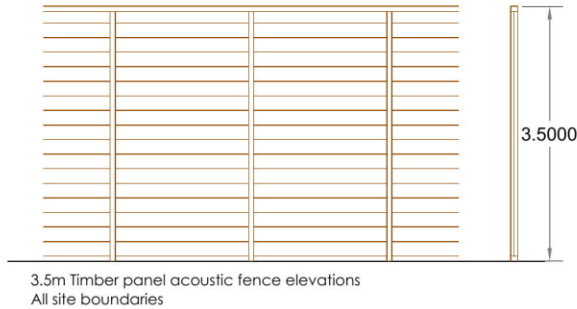
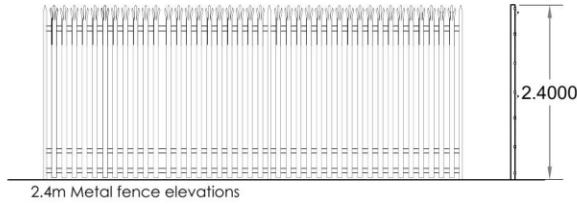
5. The proposed development is shown in green on the site plan. The boundary between the proposed development and the existing site is shown in red.

PO4	21/06/22	Amends to site boundary	ME	SA
PO3	20/03/22	Amends to comments	ME	SA
PO2	02/11/22	Amends to comments	ME	SA
PO1	31/10/22	Final issue	TH	SA
REV	DATE	DESCRIPTION	DESIGN	CHKD



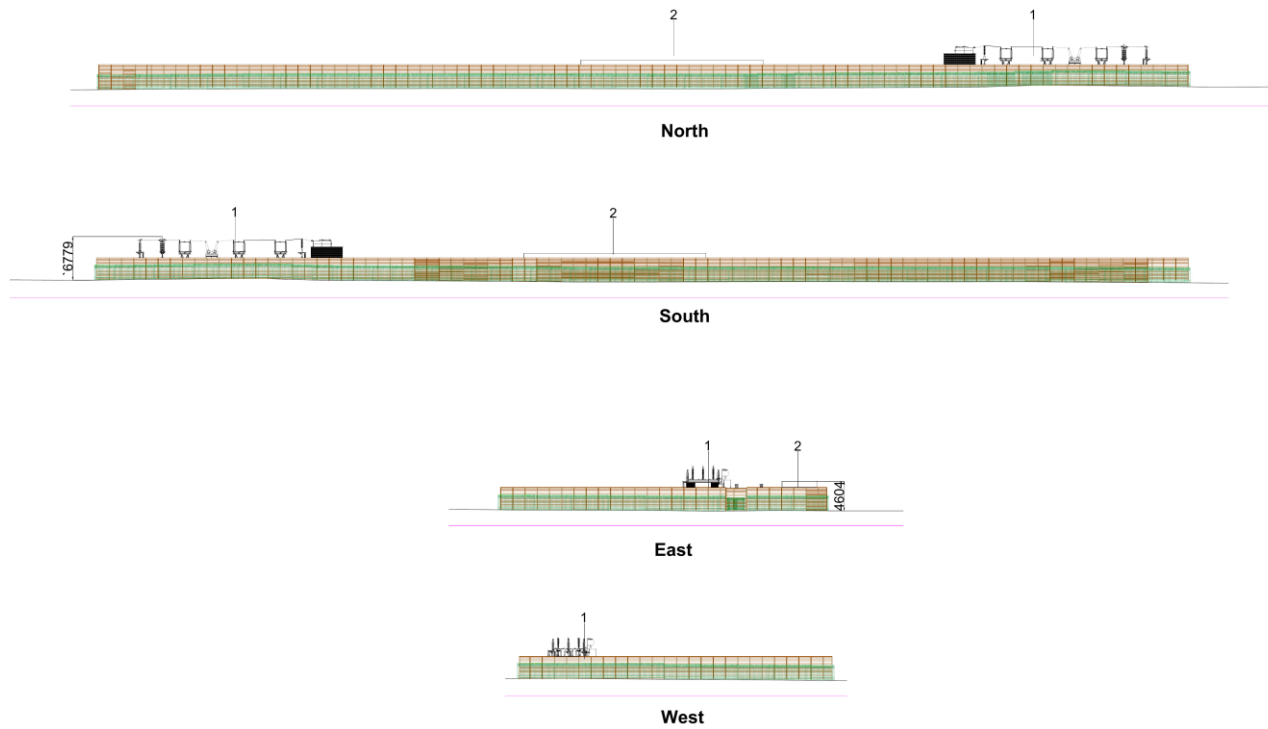
A1: Ground Floor - The Tower
 One City Office Park, Ferry Way,
 Marshfield M3 7PB
 T: +44 (0) 161 312 3131
 weanurbangreen.co.uk

FIELD ENERGY			
Project Land Opposite Walpole Sub Station			
Title SITE SECTION 02			
Issue PLANNING			
Checked	TH	Checked	SA
Approved		Approved	ME
Project	UO1744	Issue @ A1	Date
Project	UO1744	Site Labels	31/10/22
Drawn by	UO_1744_LAN_SEC_DRW_03	Revision	PO4

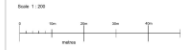


0	25/10/2022	FENCING PLAN - FOR INFORMATION	JK	RS
REV	DATE	DESCRIPTION	BY	CHKD

Field, Second Home, 68 Hanbury Street, Spitalfields, London, E1 5JL		DRAWING KEY	PROJECT KINGS LYNN	TITLE FENCING PLAN
DISCIPLINE FOR PLANNING			SCALE 1:50 @ A3	DATE 25/10/2022
			DRAWN BY JK	CHECKED BY RS
			PROJECT NO. BTGBKLY01	DRAWING NO. 004.1
			REV. 0	APPROVED BY



- DRAWING NOTES**
- SYMBOLS:**
 1. ALL DIMENSIONS ARE GIVEN IN MM.
 2. EXCEPT FOR HEIGHTS AND DISTANCES ONLY.
- LEGEND:**
- Perimeter Fencing
 - Access Fencing
 - Ground Level (D1)
 - Actual Ground Level
- 1) DNO Substation
 2) Customer Substation



NO.	REV.	DESCRIPTION OF REVISION	BY	DATE



PROJECT: KINGSLYNN

TITLE: FULL SITE ELEVATION

PREPARED FOR: FOR PLANNING

DATE: 21/02/2022

DATE: 21/02/2022	SCALE: 1:50	PROJECT NO: 001.3	REV: 1
------------------	-------------	-------------------	--------



Example image of typical BESS development
(Gerrards Cross in Buckinghamshire)



Example image of typical BESS development
(Gerrards Cross in Buckinghamshire)

22/02021/FM

Slide
No. 48



View westwards from proposed access point on Folgate Lane



22/02021/FM

Slide
No. 49



View westwards close to Over Head Power line approx.
halfway along Folgate Lane



22/02021/FM

Slide
No. 50



View SW from Folgate Lane



22/02021/FM

Slide
No. 51



View W from Folgate Lane



22/02021/FM

Slide
No. 52



View N from southern end of Folgate Lane



22/02021/EM

Slide
No. 53



View northwards on Walpole Bank – site to right of road





View S from close to junction of Walpole Bank/French's Road



Speaker James Whitaker





22/02021/FM

BESS - (Battery Energy Storage System) - (Lithium Iron).

Map	Ref	Type	Description	Area	MW	Ha	Acre	Date	Status	L / G	Km Centre	Km 1st resi	Own / Occ / Ten
13	22/02265/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land opposite Walpole Substation; to the east of Walpole Bank, Walpole St Andrew	100	1.82	4.39	17/06/2023	Pending	1	1.11	0.3	Crown Farm / Model Farm /
14	22/02021/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land opposite Walpole Substation and to the east of Walpole Bank, Walpole St Andrew	100	0.99	2.39	17/06/2023	Pending	1	0.95	0.27	Crown Farm
2	22/00438/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land opposite Walpole Substation and to the east of Walpole Bank, Walpole St Andrew	100	1.44	3.47	10/09/2022	Permitted	1	1.26	0.27	Crown Farm / Model Farm /
4	21/01803/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Land SE Down Track From Westmoor West Drive North Walpole St Peter Wisbech Norfolk PE14 7HU	100	4.3	10.36	10/06/2023	Permitted	2	1.14	0.41	County Hall
5	21/01715/FM	Battery Storage	Proposed development of an energy storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid.	Model Farm Frenchs Road Walpole St Andrew Wisbech Norfolk PE14 7JF	100	2.7	6.51	17/01/2022	Permitted	2	1.87	0.37	Crown Farm / Model Farm / Hill Farm
9	19/01002/FM	Battery Storage	Proposed development of a battery storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid	Crown Farm Mill Road West Walton Wisbech Norfolk PE14 7EU	50	1.98	4.77	05/03/2020	Permitted	3a	3.4	0.9	Crown Farm / Hill Farm
10	19/01004/FM	Battery Storage	Proposed development of a battery storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid	Flower Farm The Marsh Walpole St Andrew Wisbech Norfolk PE14 7JG	50	1.46	3.52	19/03/2020	Permitted	1	3.4	0.85	H.Prins
11	19/01003/F	Battery Storage	Proposed development of a battery storage installation and associated development to allow for the storage, importation and exportation of energy to the National Grid	Model Farm Frenchs Road Walpole St Andrew Wisbech Norfolk PE14 7JF	50	0.65	1.57	06/03/2020	Permitted	2	0.18	0.13	Crown Farm / Model Farm / Hill Farm
			Totals		800	15.3	36.97						

MW unclear from applications

Some high but again from other reports

Dist (Km) site to WSP Church (Walpole Centre)

Dist (Km) site to 1st resi

Other electrical - grid facilities (inc some Battery storage).

Map	Ref	Type	Description	Area	MW	Ha	Acre	Date	Status	Land grade	Km Centre	Km 1st resi	Own / Occ
6	21/01442/FM	Battery / Solar	Installation of a solar farm and battery storage facility with associated infrastructure	Land At East Marsh S of Gunthorpe Road W of Flowers Farm And Frenchs Road The Marsh Walpole St Andrew Norfolk	50	78.4	188.94	25/02/2022	Refused / appeal pending	1	3.1	0.41	Cliftonville / Rose Hall Farm / Wingland Grange / Newington House London / Norfolk CC / Lincoln CC
8	20/01508/FM	Battery / Solar	Installation of renewable led energy generating station comprising ground-mounted photovoltaic solar arrays and battery-based electricity storage containers together with substation, inverter/transformer stations, site accesses, internal access tracks, security measures, access gates, other ancillary infrastructure, landscaping and biodiversity enhancements	Land West And South of Walpole Substation Walpole Bank/Walpole Marsh Walpole St Andrew Norfolk	40	56	134.96	15/01/2021	Permitted	1B.2	1.9	0.54	Rose Hall Farm / National Grid
12	14/00283/FM	Solar	Erection of 30MW solar photovoltaic facility with associated landscaping and construction of temporary access	Rose And Crown Solar PV Ltd Solar Farm On the Salts Walpole Bank Walpole St Andrew Norfolk	30	67.3	162.24	12/06/2014	Permitted / Built	High grade	2	0.37	FW Deptford
15	14/01059/FM	Sub Station	Alternative sub-station design to serve the Race Bank offshore windfarm.	Land East of Walpole Marsh Substation Walpole Bank Walpole St Andrew Norfolk	N/A	5.97	14.39	26/09/2014	Permitted / Built	Existing	1.3	0.12	Centrica
1	22/01616/FM	Sub Station	Installation of a Synchronous Condenser facility with associated infrastructure access and landscaping.	Land At Rose Hall Farm Walpole Bank Walpole St Andrew Wisbech Norfolk PE14 7JD	NA	3.52	8.48	31/01/2023	Permitted	Agri	1.6	0.1	Cliftonville / Rose Hall Farm / Norfolk CC
			Totals		120	211	509.02						
			Totals - all		920	227	546						

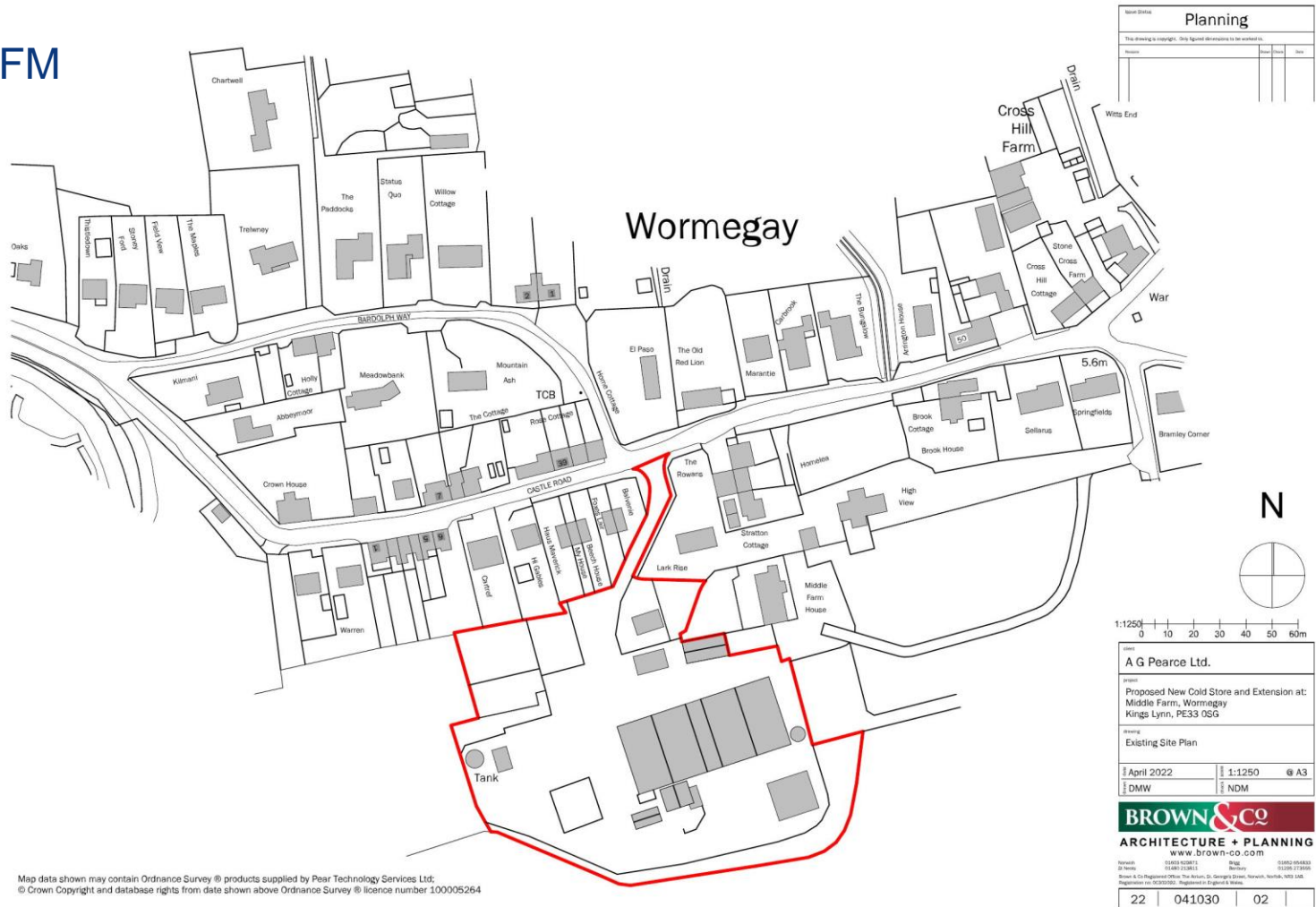
22/02021/FM

Top 12 largest BESS systems in the world at 2022 (google).				
Rank	Battery	MW	Year	Ctry
#1	The Dalian Flow Battery Energy Storage Peak-Shaving Power Station	400	2022	China
#2	The Moss Landing Energy Storage Facility	400	2020	USA
#3	Pacific Gas & Electric (PG&E) Battery Energy Storage (BESS) Project	183	2021	USA
#4	The Victorian Big Battery	300	2021	Australia
#5	The Hornsdale Power Reserve	150	2017	Australia
#6	The Stocking Pelham Battery	50	2018	UK
#7	The Buzen Substation BESS	50	2016	Japan
#8	The EnspireME Battery	48	2018	Germany
#9	Notrees Energy Storage System	36	2017	USA
#10	The Golden Valley Electric Battery	27	2003	USA
#11	The Newmarket Battery Energy Storage System	4	2019	Canada
#12	The Graciosa Energy Storage System	2.8	2025	Portugal

Additional info as of 2023.				
#13	Walpole - BESS within a 2km radius of Walpole Sub station (ex bess inc in Solar	800	N/A	UK
#14	Pillswood East Yorkshire (was largest in Europe)	196	2022	UK
#15	Minty Wiltshire (was largest in Europe)	150	2021	UK

22/01333/FM





Planning			
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Revised	Date	By	For

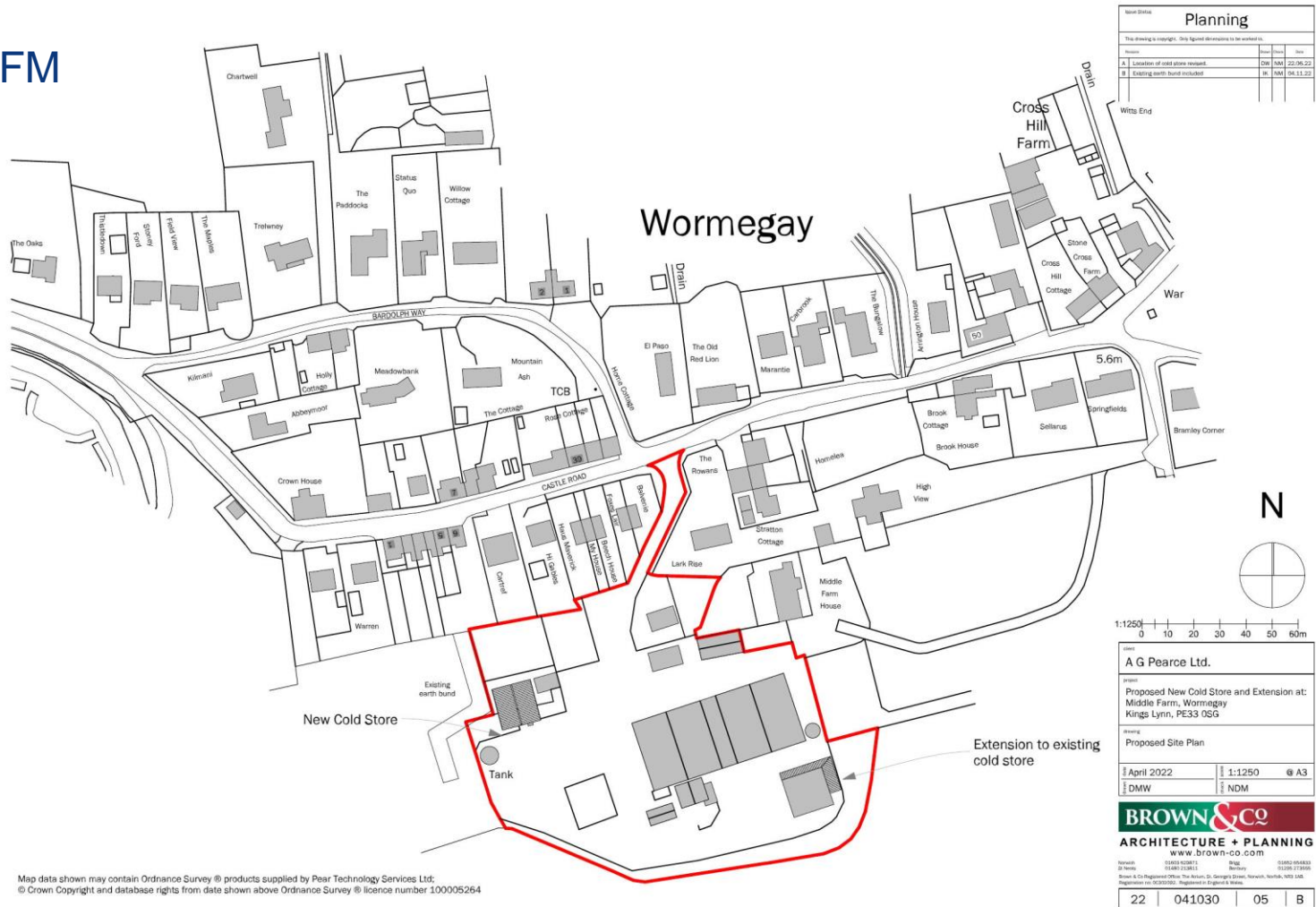
1:1250
0 10 20 30 40 50 60m

Client A G Pearce Ltd.		
Project Proposed New Cold Store and Extension at Middle Farm, Wormegay Kings Lynn, PE33 0SG		
Drawing Existing Site Plan		
Date April 2022	Scale 1:1250	Sheet A3
Author DMW	Revision NDM	

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ARCHITECTURE + PLANNING
www.brown-co.com

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 20 Norfolk Wickham Norwich
 Street 4, De Rhammond Office, The Millers, St. Georges Street, Norwich, Norfolk, NR1 1AS
 Registration no: 012030020 - Registered in England & Wales.

22	041030	02
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Planning			
This drawing is copyright. Only signed dimensions to be worked on.			
Author	Date	Drawn	Issue
A	Location of cold store variant	DM	NM 22/05/22
B	Existing earth bund included	DM	NM 05/11/22

1:1250
0 10 20 30 40 50 60m

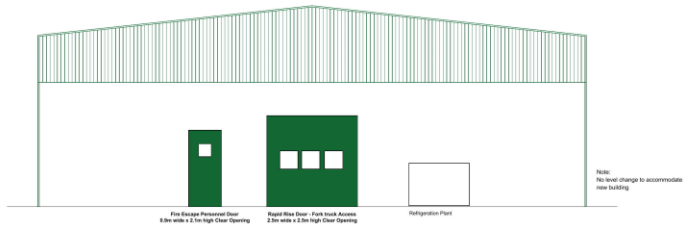
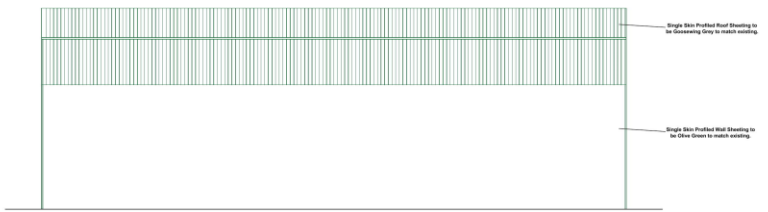
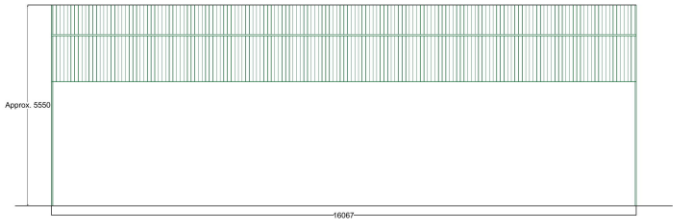
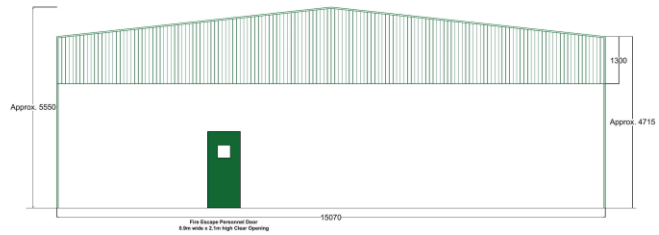
Client A G Pearce Ltd.		
Project Proposed New Cold Store and Extension at Middle Farm, Wormegay Kings Lynn, PE33 0SG		
Drawing Proposed Site Plan		
April 2022	1:1250	A3
DMW	NDM	

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Number: 01405 510811 B102 01405 654433
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Street & Co Registered Office: The Millers, St. George's Street, Norwich, Norfolk, NR1 1AS
Registration no: 012030020 - Registered in England & Wales.

22	041030	05	B
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22/01333/FM



Slide No. 62

General Notes

No.	Revision/Issue	Date

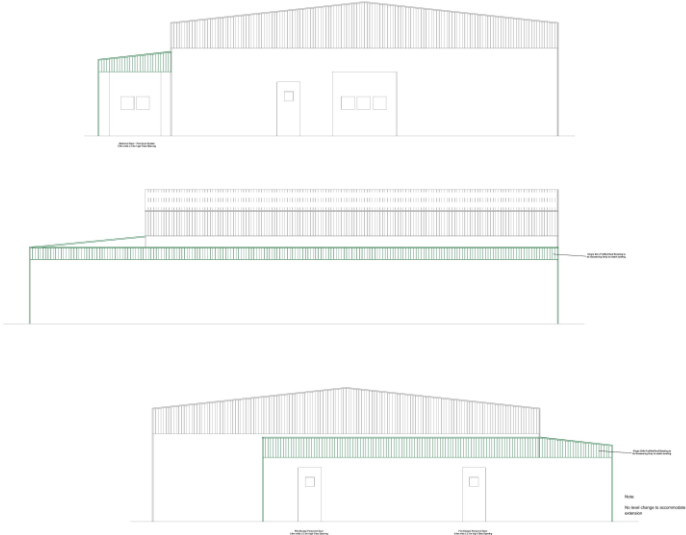
Project Name and Address

MAGNUM
FABRICATIONS LTD
MAGNUM HOUSE
DOMINGTON

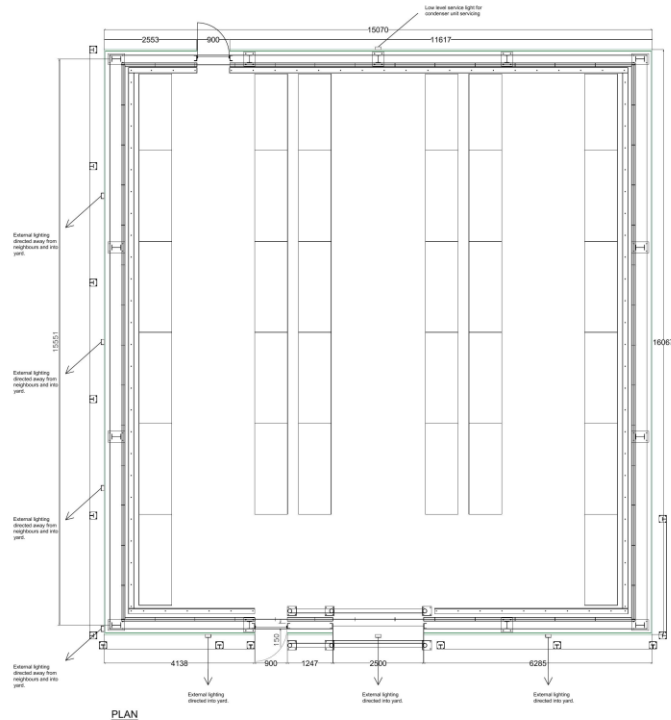
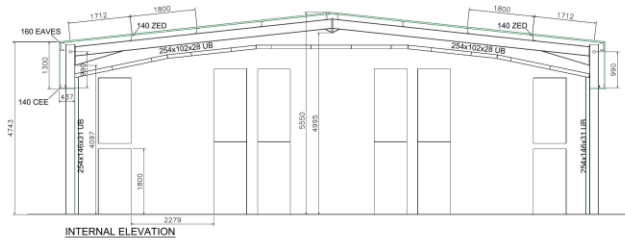
Project Name and Address

GPL Construction
AG Pearce
Kings Lynn

Sheet	3
Drawn	14.4.22
Scale	1:50@A1



- SPECIFICATION:
- STEELWORK FINISH: SHOTBLAST GREY FINISH
 - PORTAL TIE SPACERS: 254x102x25 UB
 - PORTAL COLUMNS: 254x146x31 UB
 - GABLE COLUMNS: 203x133x25 UB
 - ROOF BRACING: 76x3.2 CHS
 - PORTAL TIES: 76x3.2 CHS
 - ROOF JOISTS: 155x1.5 ZED
 - CLADDING RAILS: 140x1.4 C SECTION
 - EAVES BEAMS: 160x2.0 EAVES BEAM
 - DOOR FRAMES: 150x76x20 CHANNEL
 - CLADDING: 40mm COMPOSITE PANEL
OLIVE GREEN
 - TRIMMS: OLIVE GREEN
 - GUTTER: BLACK PVC



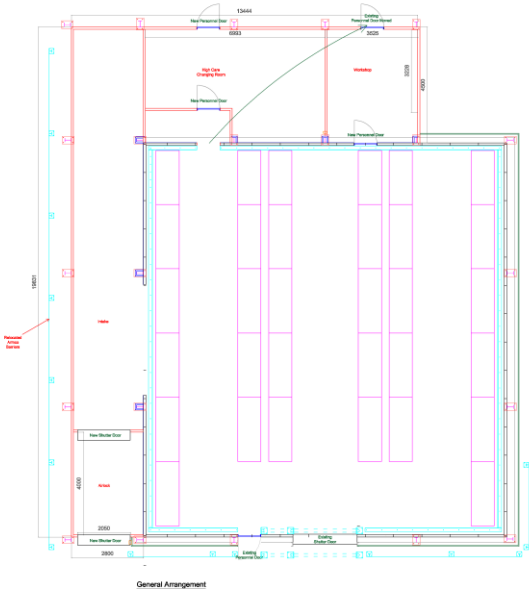
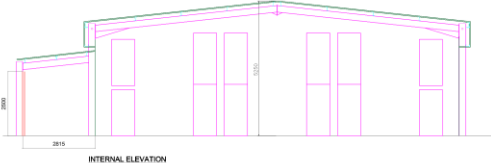
General Notes

No.	Revision/Issue	Date

Prepared by: **MAGNUM**
FABRICATIONS LTD
MAGNUM HOUSE
DONNINGTON

Project Name and Address:
GPL Construction
AG Pearce
Kings Lynn

Plant:	NEW CHILL STORE	Sheet:	2
Date:	19.4.22		
Scale:	1:50@A1		



Date:
 Drawn:
 Checked:
 Approved:
 Project:
 Scale:
 Drawing No:
 Revision:
 E13686/1







Entrance to site







On application site looking north

22/01333/FM

Slide
No. 70



On application site looking north



22/01333/FM

Slide
No. 71





On application site looking north





On application site looking northwest, showing earth bund





On application site looking east



22/01333/FM

Slide
No. 75



On application site looking south



22/01333/FM

Slide
No. 76



On application site looking south





On application site looking south, existing cold store on right





On application site looking north with
existing cold store on left



22/01333/FM

Slide
No. 79



Existing cold store





Southern elevation of existing cold store





Staff car park and northern boundary





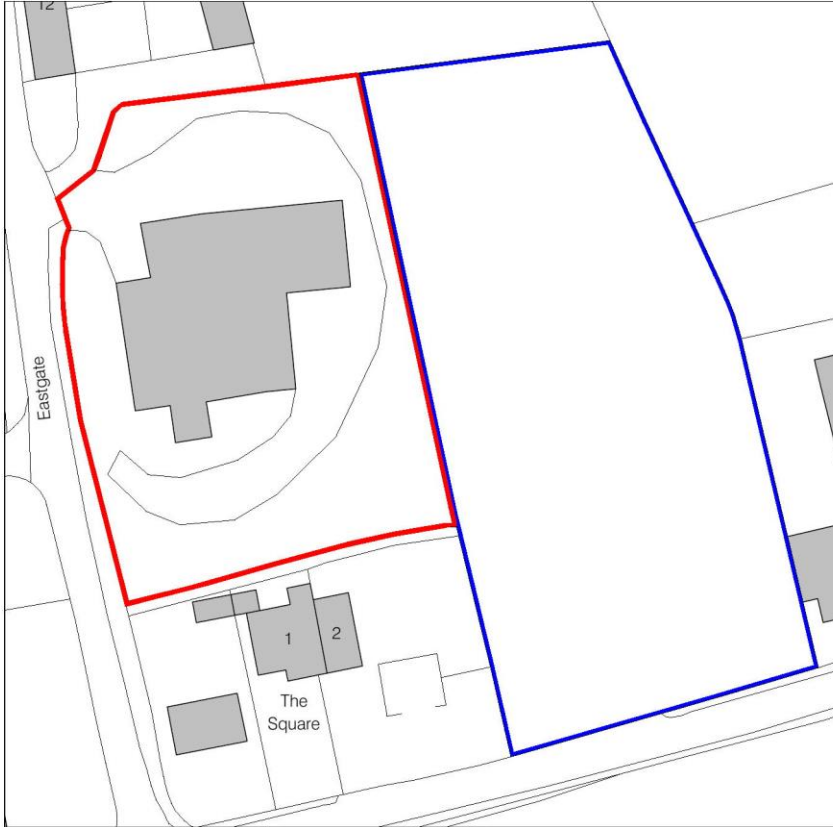
Staff car park and northern boundary



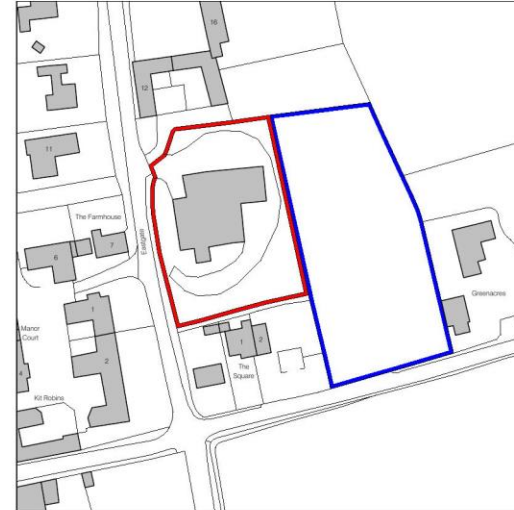
22/01884/F



Site Plan
Scale 1:500



Location Plan
Scale 1:1250



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Unit 12, Drove Orchards, Thornham Road,
Holme-next-the-Sea, Norfolk, PE36 6LS
Tel: 01328 738239 Web: www.strataarchitecture.com

Project:
Eastgate Barn
Holme next the Sea
PE36 6LL

Title:
Location and Site Plan

Scale(s): As shown @A3 Date: 24/10/22

Drawn: SS Checked: JL

Drawing issued for: Planning

Dwg No. 543-002 Rev:

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Rev.	Date	Description	Drawn
B	20/10/22	Garage removed, new roof structure	RL
B	20/10/22	Garage removed, new roof added	RL
C	20/10/22	Final 2D plan completed	RL
D	20/10/22	Section A-A completed, final 2D added	RL



Section A-A Proposed 1:100



Section B-B Proposed 1:100



Site Plan Proposed 1:250

STRATA ARCHITECTS

Unit 13, Swan District, The Shipyard,
Highway 47, King's Lynn, Norfolk, PE30 6LQ
Tel: 01508 756239 Web: www.strataarchitects.com

Project:
Eastgate
Holme next the Sea

Title:
Site Plan &
Site Sections Proposed

Scale: 1:100 / 1:500 @ A1 Date: 16-09-22
Drawn: RL Checked: JL
Drawing issued for: FEASIBILITY

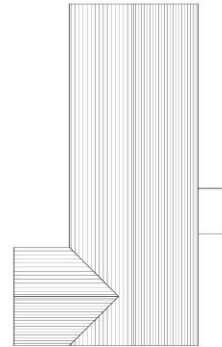
Drawn by: 543-P213 Rev: D

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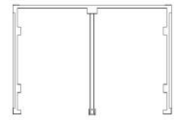
Rev.	Date	Description	Drawn
B	20-04-22	Garage removed plus 100mm increase	RS
B	20-04-22	Roofline amended	RS
C	20-04-22	Floor of plot amended	RS



Ground Floor Plan Proposed 1:100



Roof Plan Proposed 1:100



Floor Plan Proposed 1:100



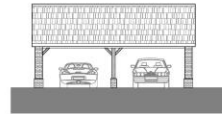
Roof Plan Proposed 1:100



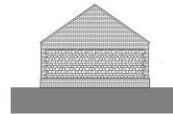
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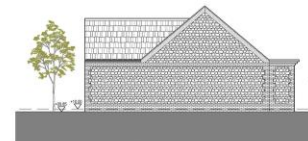
South Elevation Proposed 1:100



South Elevation Proposed 1:100



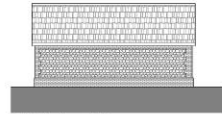
East Elevation Proposed 1:100



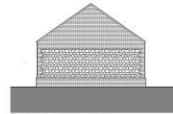
North Elevation Proposed 1:100



West Elevation Proposed 1:100



North Elevation Proposed 1:100



West Elevation Proposed 1:100



Site Plan Proposed 1:500

STRATA ARCHITECTS

Unit 10, Swan Cottage, The Street Road, Hingham Norfolk, NR34 6JL
Tel: 01306 783039 Web: www.strataarchitects.com

Project: Eastgate
Halmes next the Sea

Type: Plot E & Cart Shed Floor Plans and Elevations Proposed

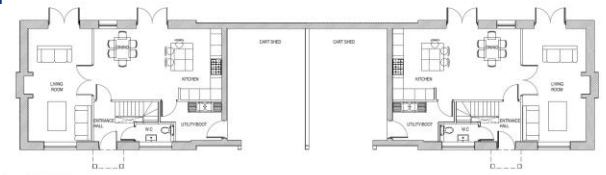
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Drawn: RS Checked: JL

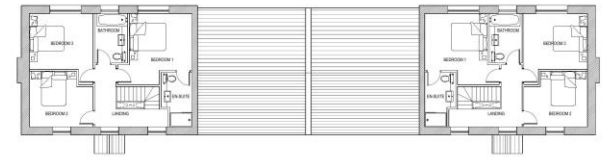
Drawing used for: FEASIBILITY

Drawn No: 543-P210 Rev: C

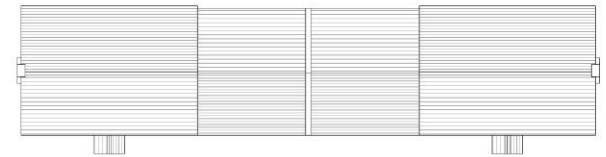
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Ground Floor Plan Proposed 1:100



First Floor Plan Proposed 1:100



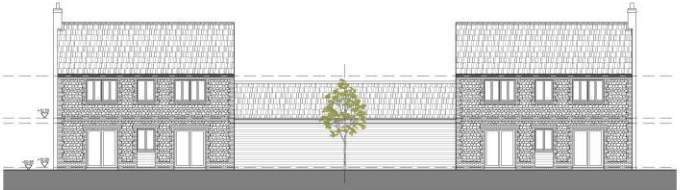
Roof Plan Proposed 1:100



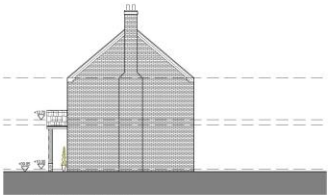
Site Plan Proposed 1:500



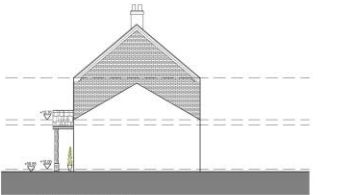
North Elevation Proposed 1:100



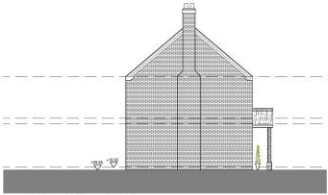
South Elevation Proposed 1:100



West Elevation Proposed 1:100



West Elevation Proposed 1:100



East Elevation Proposed 1:100



East Elevation Proposed 1:100

Rev.	Date	Description	Drawn
A	20-03-22	Original proposal (plot A&B amended)	RS
B	20-03-22	Revised proposal (plot A&B amended)	RS
C	20-04-22	Final proposal (amended)	RS

STRATA ARCHITECTS
 Unit 11, Swan Cottage, The Street Road, King's Lynn, Norfolk, PE30 2EL
 Tel: 01508 738038 Web: www.strataarchitects.com

Project: Eastgate Helme next the Sea

The Plots C & D Floor Plans and Elevations Proposed

Scale: 1:100 / 1:500 @ A1 Date: 16-09-22

Drawn: RS Checked: JL

Drawing issued for: FEASIBILITY

Drawn No: 543-P211 Rev: C

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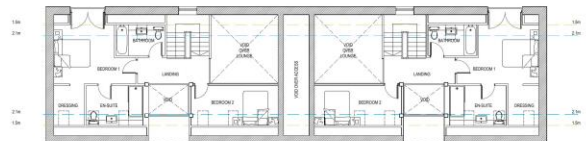
22/01884/F



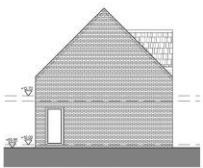
Ground Floor Plan Proposed 1:100



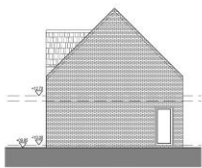
West Elevation Proposed 1:100



First Floor Plan Proposed 1:100



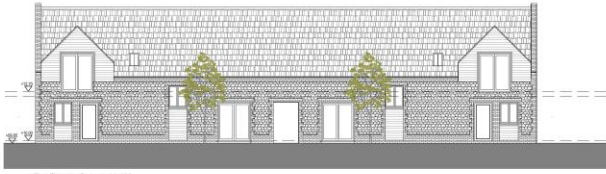
South Elevation Proposed 1:100



North Elevation Proposed 1:100



Roof Plan Proposed 1:100



East Elevation Proposed 1:100



Site Plan Proposed 1:500

22/01884/F

Slide
No. 89



View of barns from access point



22/01884/F

Slide
No. 90







22/01884/F

Slide
No. 93



View from barns to south east





22/01884/F

Slide
No. 95





Houses opposite and existing hedgerow

Speaker Wendy Norman



ALLOCATION OF 5 SMALL MARKET HOMES FOR LOCAL RESIDENTS

Slide
No. 98

22/01884/F



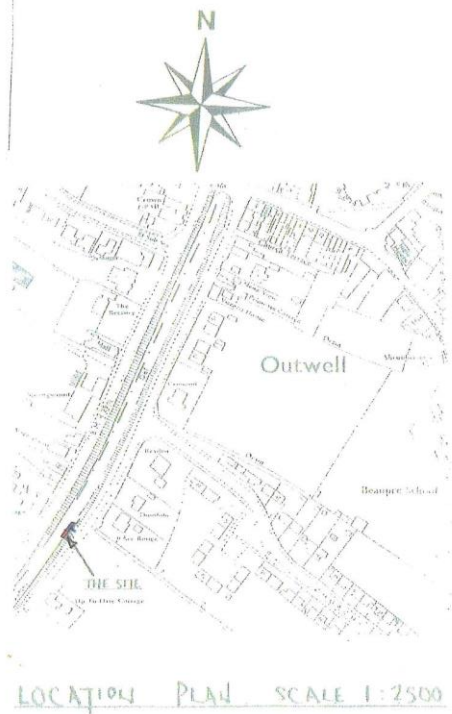
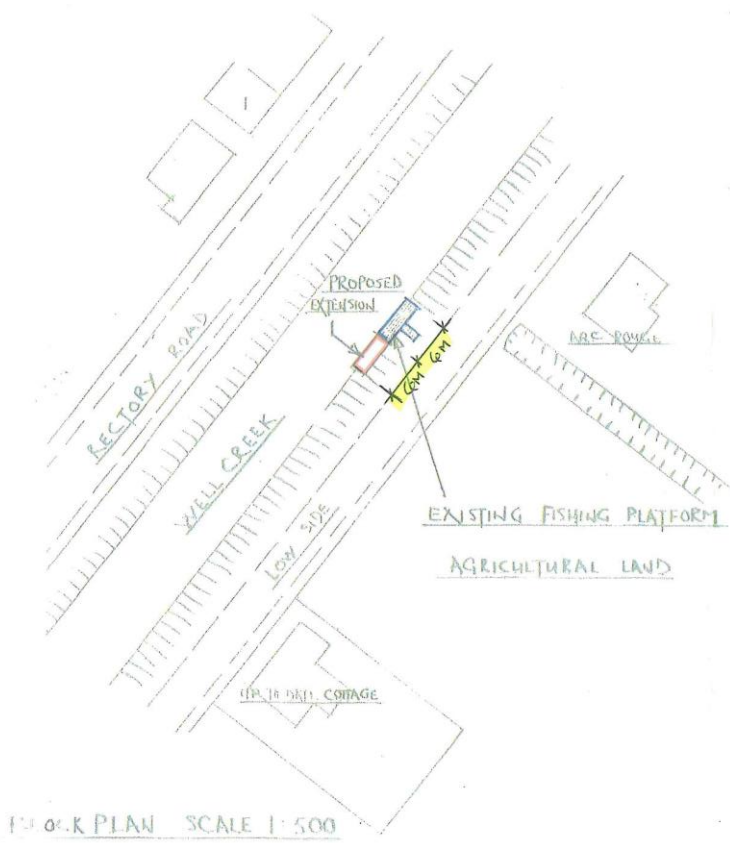
No homes would be better than five more second homes or holiday lets on this site

A Section 106 Agreement is required to ensure five homes for our local community

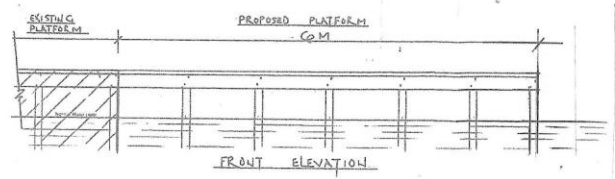
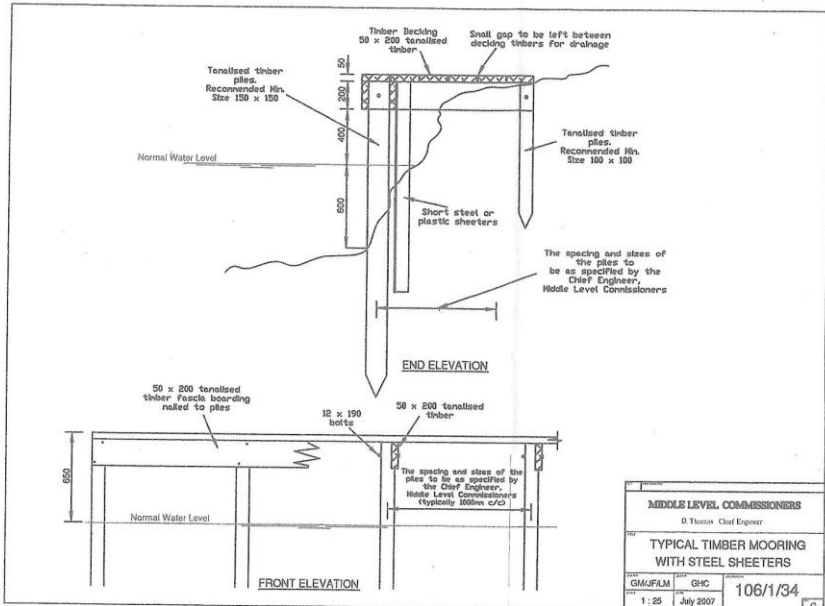


23/00253/F





17/2/23	EXISTING BLUE LINE SHOWN ON
17/2/23	EXISTING BLUE LINE SHOWN ON
<p>Graduate Newton 10 St James Road, South, Wells & Coles, PO11 1JH Tel: 01263 222522 Fax: 01263 222525 Email: newton@graduate.co.uk</p>	
<p>RECEIVED 20 FEB 2023 JENNY HAMILTON POSTALADMIN</p>	
<p>Client: WELL CREEK TRUST LTD % GRAHAM SCOTTON</p>	
<p>Job title: EXTENSION TO EXISTING FISHING PLATFORM ON RIVER BANK, LOWSIDE, OUTWELL</p>	
<p>Planning Title: LOCATION & BLOCK PLAN</p>	
Scale: 1:2500	1:500
Date: JAN 2023	Drawn by: C. Dean
Dep No: 23/1/261	Doc: A



A 17/1/25 FRONT ELEVATION 1:50	
Client	Middle Level Commissioners
Designer	Grahame Seaton
67 St. Peter's Road, Upwell, Wisbech, Cambs PE14 9EB Telephone/Fax (01454) 772332 Mobile (07799) 933359 Email: gse@grahamseaton.co.uk	
RECEIVED 20 FEB 2023 JENNY HAMILTON POSTAL ADMIN.	
Client	WELL CREEK TRUST LTD % GRAHAME SEATON
Job Title	EXTENSION TO EXISTING FISHING PLATFORM ON RIVER BANK, LOW SIDE, OUTWELL.
Drawing Title	FULL DETAILS
Scale	1:25 1:50
Date	JAN 2023 Drawn by G.S.EATON
Dwg No.	23/r/2151/A

23/00253/F

Slide
No. 102



View westwards from Lowside towards the Well Creek

23/00253/F

Slide
No. 103



View northwards along Well Creek showing existing platform

23/00253/F

Slide
No. 104



View southwards along Well Creek



23/00253/F

Slide
No. 106



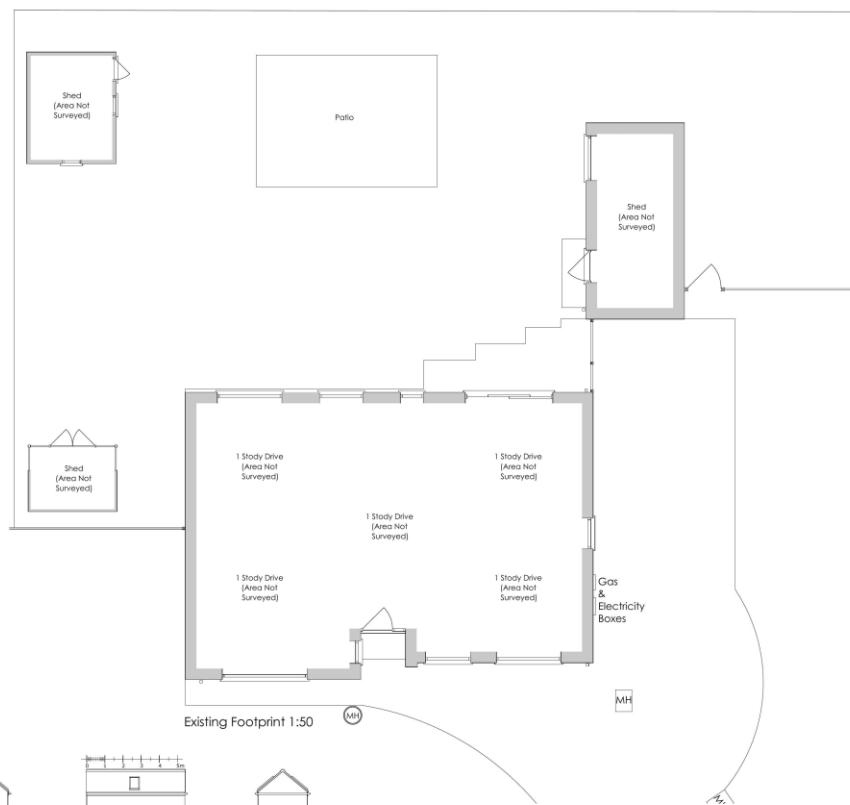
View of existing platform from bank

21/01921/F

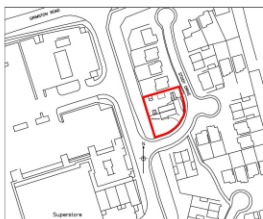




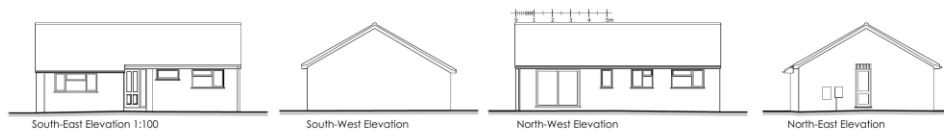
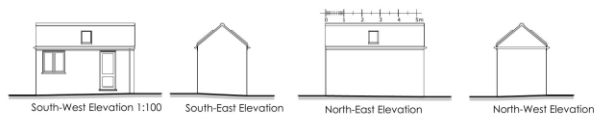
Existing Site Plan 1:200



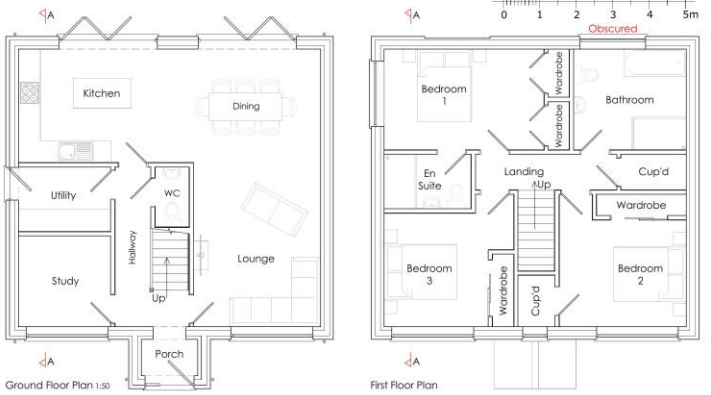
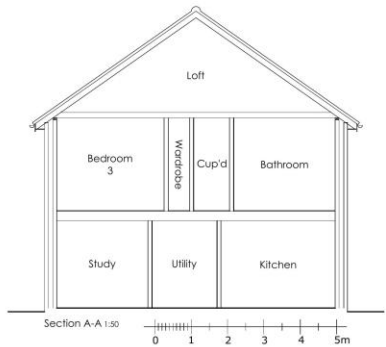
Existing Footprint 1:50



Location Plan 1:1250



Revised	Date	Description
 VERTEX ARCHITECTURE <small>11 Station Road, King's Lynn, Norfolk, PE30 3JQ</small>		
1 Study Drive, South Wootton, King's Lynn Norfolk, PE30 3JQ		
Extension & Alterations to Dwelling Existing Plans & Elevations, Section & Site		
Date	Scale	
June 2021	1:50, 1:100, 1:200 1:1250 @A1	
Project No.	Drawing No.	Revision
21127	01	



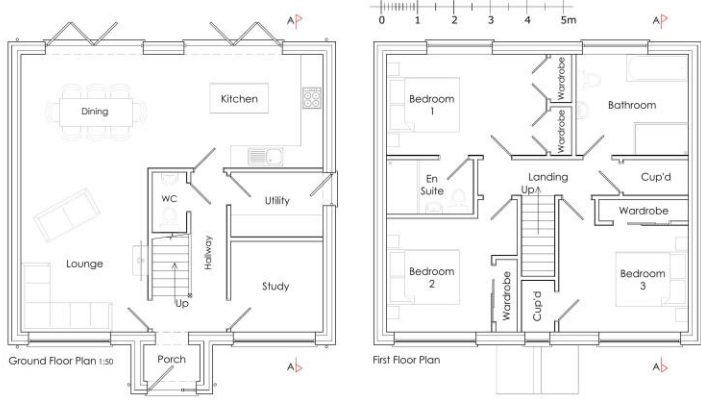
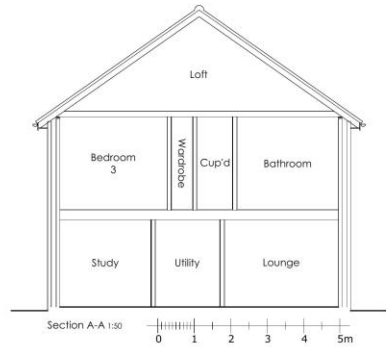
- Materials to be:
- Red facing brickwork
 - Red Clay Pan Tiles
 - UPVC windows
 - Aluminium doors
 - Galvanised rainwater goods

VERTEX ARCHITECTURE
 ARCHITECTS AND INTERIORS
 23 King's Lynn Road, King's Lynn, Norfolk PE30 3UG

Project: 1 Study Drive, South Woolton, King's Lynn Norfolk, PE30 3UG
 Name: Extensions & Alterations to Dwelling Proposed Plans & Elevations, Section & Site
 Date: February 2023 | Scale: 1:50, 1:100, 1:200
 Project No: 21127 | Drawing No: 02 | Revision: L

21/01921/F

Plot 2



- Materials to be:
- Red facing brickwork
 - Red Clay Pan Tiles
 - UPVC windows
 - Aluminium doors
 - Galvanised rainwater goods

VERTEX ARCHITECTURE
 www.vertexarchitecture.co.uk | 01493 228811 | info@vertexarchitecture.co.uk
 23 Kingfisher Meadow, Norwich, Norfolk NR1 3JG

Project Name	21/01921/F	Location	Plot 2
Address: 1 Study Drive, South Woolston, King's Lynn, Norfolk, PE30 3UG			
Nature: Extensions & Alterations to Dwelling Proposed Plans & Elevations, Section & Site			
Date: February 2023	Scale: 1:50, 1:100, 1:200	Drawn By: RA1	Checked By: RA1
Project No: 21127	Drawn No: 03	Version: L	

21/01921/F

Slide
No. 111



Views on the site looking west with and
the neighbouring property to the north



21/01921/F

Slide
No. 112



Views on the site from the east





Views on the site looking west





Front elevation on the existing bungalow (looking north)





Access into Stody Drive (looking north)





Existing trees and hedging to the west of the site





Looking east from the rear garden of the bungalow



21/01921/F

Slide
No. 118



Looking north from the rear garden of the bungalow





Looking north to the neighbouring property



21/01921/F

Slide
No. 120



Looking west along the northern boundary



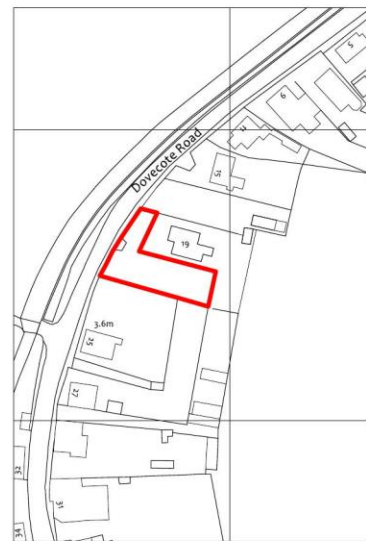
23/00551/RM



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Norfolk - PE14 8TQ
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01223 969427
www.angliabuildingconsultants.co.uk
info@angliabuildingconsultants.co.uk

No	Date	Revision
----	------	----------

Issue: **For Planning Approval**

Site: **Plot adjacent 19, Dovecote Road, Upwell, Norfolk, PE14 9HB**

Project: **Residential Development**

Drawing Title: **Location Plan**

Client: **Mr Stanford and Ms Satt**

Date: **March 2023**

Scale: **1:1250 at A3**

Drawing Number: **P-22-2301-1**

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23/00551/RM



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Slide
 No. 123



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No	Date	Revision
Issue: For Planning Approval		
Site: Plot adjacent 19, Dovecote Road, Upwell, Norfolk, PE14 9HB		
Project: Residential Development		
Drawing Title: Existing Site Plan		
Client: Mr Stanford and Ms Satt		
Date	March 2023	
Scale	1:500 at A3	
Drawing Number	P-22-2301-2	

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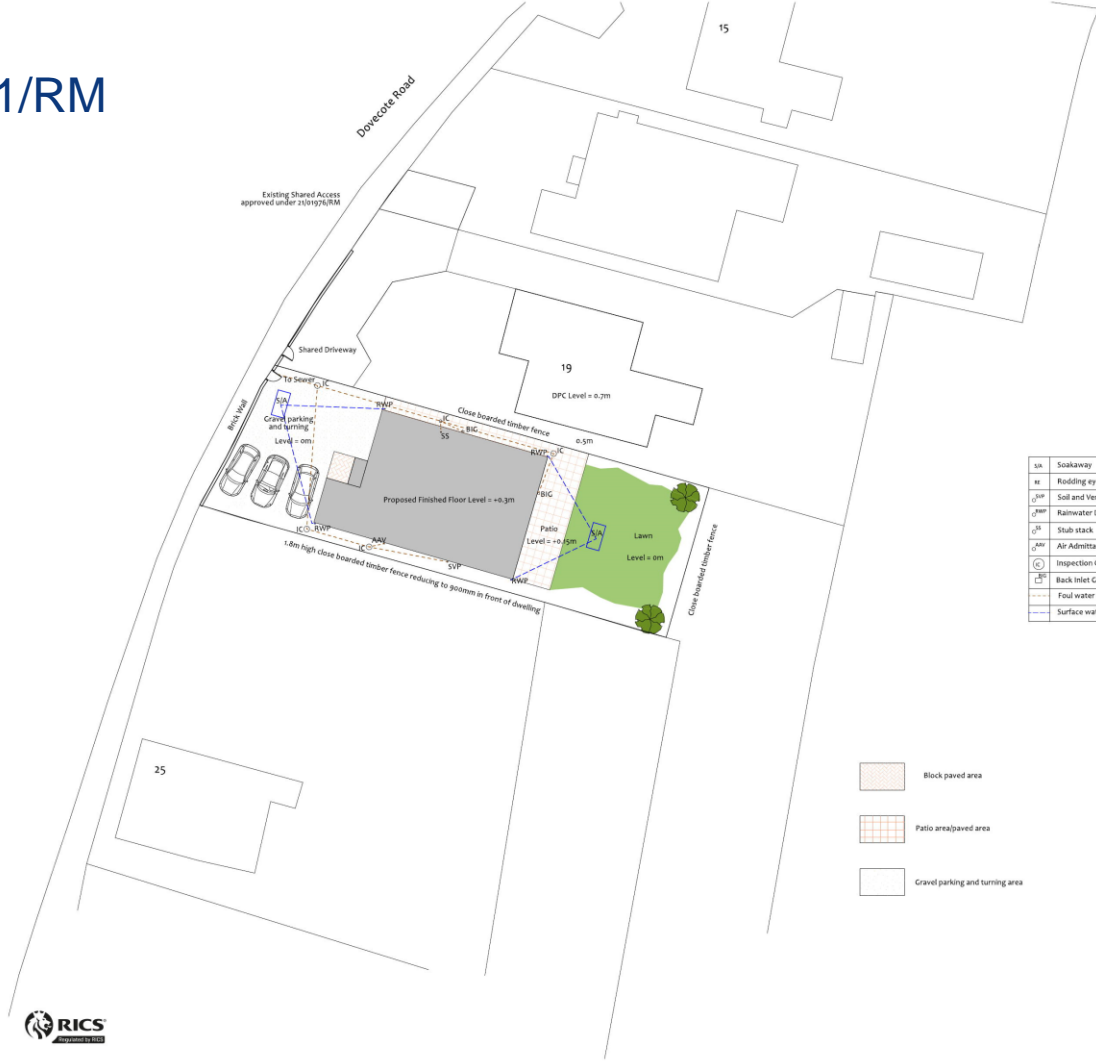


SW	Soakaway
M	Roofing eye
SP	Soil and Vent Pipe
RDP	Rainwater Downpipe
SS	Stub stack
AV	Air-Admittance valve
IC	Inspection Chamber
BI	Back Inlet Gully
FD	Foul water drain run
SWD	Surface water drain run

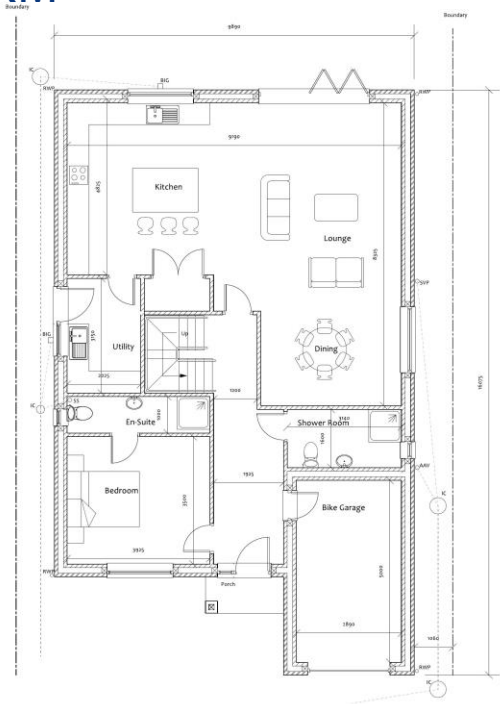


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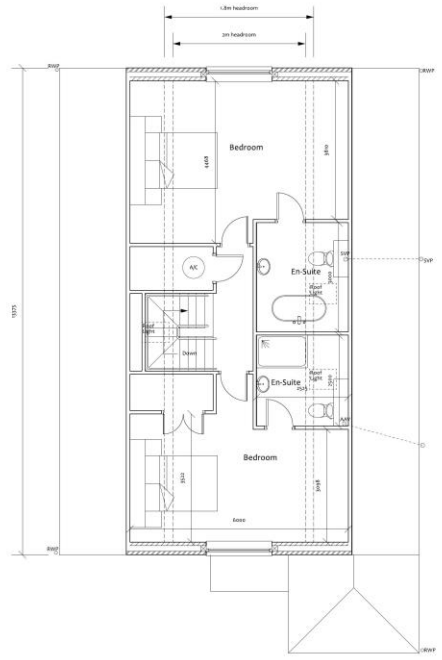
	Block paved area
	Patio area/paved area
	Gravel parking and turning area



No	Date	Revision
Issue: For Planning Approval		
Site: Plot adjacent 19, Dovecote Road, Upwell, Norfolk, PE14 9HB		
Project: Residential Development		
Drawing Title: Proposed Site Plan		
Client: Mr Stanford and Ms Satt		
Date	March 2023	
Scale	1:200 at A2	
Drawing Number	P-22-2301-3	



Ground Floor Plan



First Floor Plan

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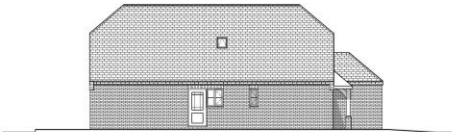
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No.	Date	Revision
1		For Planning Approval
Site: Plot adjacent to, Devecote Road, Upwell, Norfolk, PE14 9HB		
Project: Residential Development		
Drawing Title: Proposed Floor Plans		
Client: Mr Stanford and Ms Satt		
Date: March 2023		
Scale: 1/50 at A1 or 1/100 at A3		
Drawing Number: P/23-2301-4		

23/00551/RM



Front Elevation

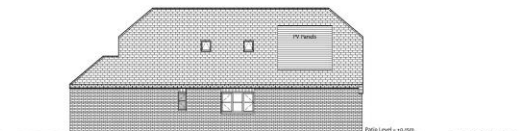


Side Elevation

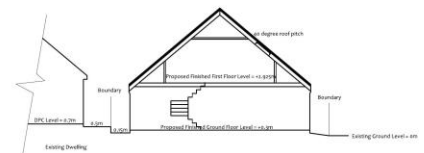
Materials:
 Walls: Reddish Antique bricks
 Roof: Natural Clayware Tiles
 Windows: Cream UPVC



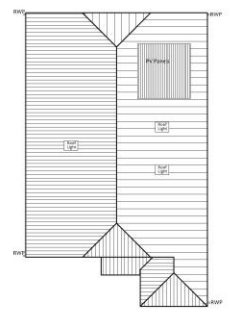
Rear Elevation



Side Elevation

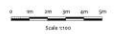


Site Section



Roof Plan

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Slide
 No.126



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 info@angliabuildingconsultants.co.uk

No.	Date	Revision
None		
Issue: For Planning Approval		
Site: Plot adjacent to, Derecote Road, Upwell, Norfolk, PE14 9HB		
Project: Residential Development		
Drawing Title: Proposed Elevations, Roof Plan and Site Section		
Client: Mr Stanford and Ms Satt		
Date:	March 2023	
Scale:	1:100 at A1	
Drawing Number:	P-23-2301-5	

23/00551/RM

Slide
No. 127

Context view northwards along Dovecote Road



23/00551/RM

Slide
No. 128



View of plot to N of No.19 Dovecote Road

23/00551/RM



View of plot to south of No.19 Dovecote Road

23/00551/RM

Slide
No. 130

Closer view of application site

A photograph showing a garden area. In the foreground, there is a low brick wall with a dark grey concrete top. To the left, a wooden fence runs along the edge of the garden. The garden is filled with various plants, including tall green grasses, a large bush with reddish-purple leaves, and several trees in the background. A small orange marker is visible in the grass. The sky is overcast.

23/00551/RM

Slide
No. 131



View across site from SW corner on frontage

23/00551/RM

Slide
No. 132

View back towards road from rear of the site

A photograph showing a view back towards a road from the rear of a site. The foreground is a grassy area with a wooden fence on the right. In the middle ground, there are large green ferns and a red car parked on the road. The background shows trees and a cloudy sky.

23/00551/RM

Slide
No. 133

Adjoining property to the south



23/00551/RM

Slide
No.134

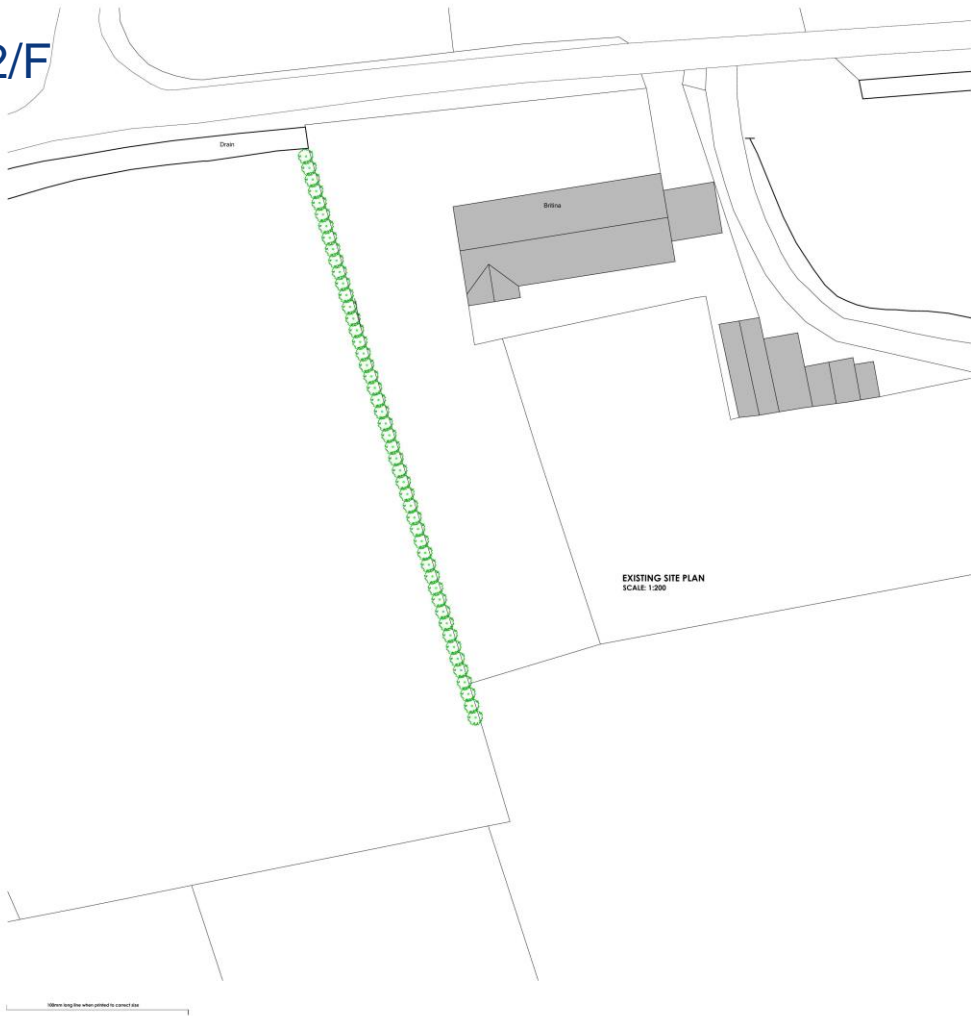


Context view southwards along Dovecote Road beyond the site

22/00832/F



22/00832/F



Borough Council of
King's Lynn &
West Norfolk

Where long lines when printed to connect dots

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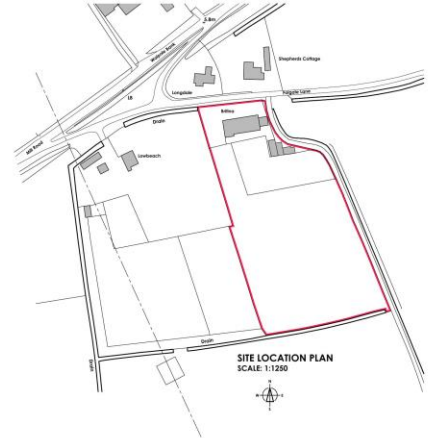
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The information should be checked against the relevant standards and specifications of the British Standards.

Drawing Status: Planning

Slide
No. 136



Project:
Billa
Faggate Lane
Walpole St Andrew
Widemouth
PE14 7JA

Client:
Mr C Granger

Title:
Location plan & Existing Site Plan

Revision Details:
-
-

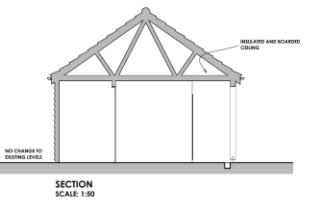
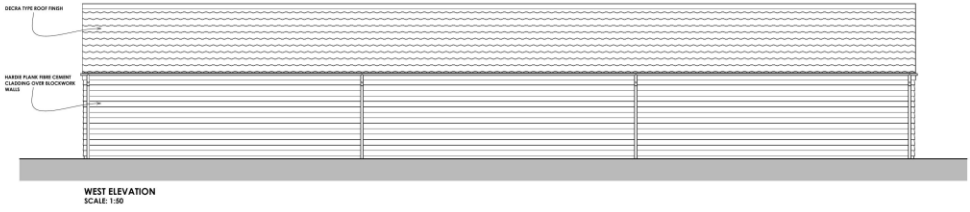
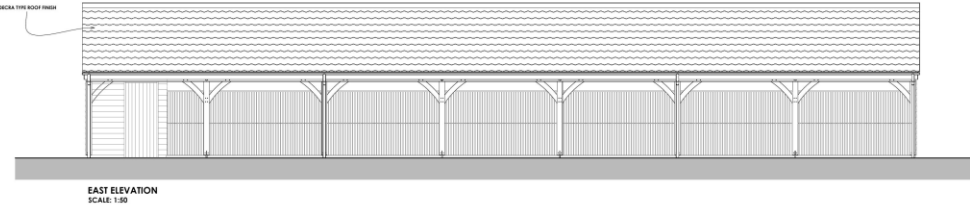
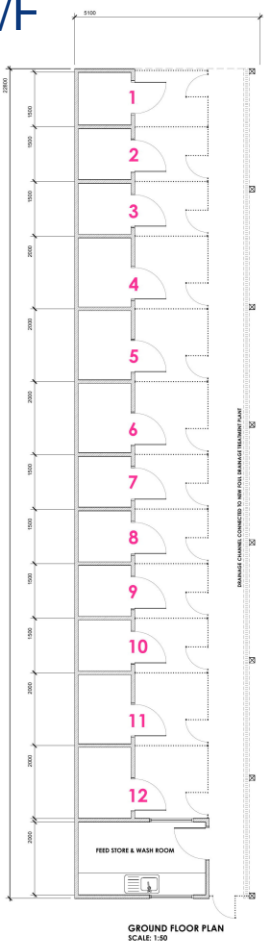
Issue Date: 10.4.22

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Brankley Hedge, Demston Road,
Cottek, Norfolk, PE2 7ND
Phone: 01463 820 244
Email: studio@holt-architectural.co.uk
www.holt-architectural.co.uk

Project Size: A1

Drawing Number: HAL22-CG-10



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The client shall be responsible for the structural design and shall be responsible for the structural design. The client shall be responsible for the structural design and shall be responsible for the structural design.

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Notes
Drawing Title: Planning

Slide No. 139

Project:
Biffins
Folgate Lane
Walpole St Andrew
Wibberch
PE14 7JA

Client:
Ms C Granger

Proposed Floor Plan & Elevations

Revision Details:
revised to suit clients comments
-

Issue Date: 10.4.22

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Coles, Norfolk, NE21 7ND
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www.holtarchitectural.co.uk

Drawing Number: HAI22-CG-200 Rev: G Paper Size: A1

22/00832/F

Slide
No. 140



Applicant's dwelling 'Britina'





22/00832/F

Slide
No. 142



Western boundary between site and neighbour



Application site, showing agricultural land to rear.
Rear boundary marked by sporadic tree line



Application site showing rear boundary (sporadic trees) and eastern boundary (hedge line).



22/00832/F

Slide
No. 145



Application site with existing stable block to left side



Existing stable block





Existing 'stable block' to rear of bungalow



Within site looking north towards neighbouring dwelling on opposite side of Folgate Lane



End of Presentation

